

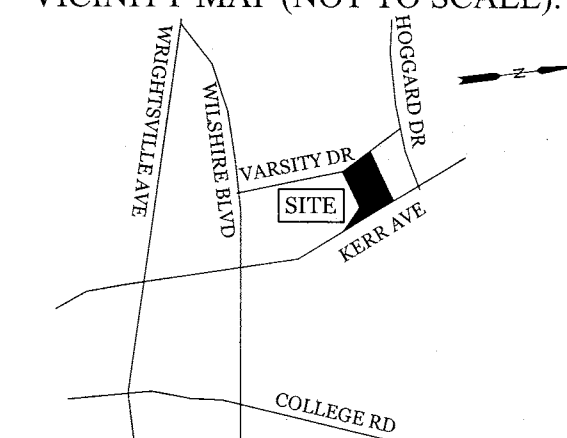
THE VARSITY
APPROVED 9/8/20
SWP 2020026
JW, RC, BM, CW

Date: _____ Permit # _____
Signed: _____

SITE DATA

PARCEL ID: R05511-001-004-002, R05511-001-001-000, R05511-001-002-000
CURRENT ZONING: O&I-1 (CD)
CAMA LAND USE CLASSIFICATION: URBAN & CONSERVATION AREA
PROJECT ADDRESS: 611 VARSITY DR, 724 & 716 SOUTH KERR AVE, WILMINGTON, NC 28403
CURRENT OWNER: REAL PROPERTIES LLC, 1319 MILITARY CUTOFF RDSUITECC, WILMINGTON, NC 28405
TOTAL ACREAGE IN PROJECT BOUNDARY: 68,115 S.F. (± 1.56 ac.)
EXISTING ONSITE IMPERVIOUS AREAS (ALL TO BE REMOVED):
BUILDINGS: 3,683 S.F.
PAVEMENT: 3,176 S.F.
SOIL TYPE: To (Torchuta loamy fine sand) 63.1%
Be (Baymade fine sand) 36.8%
JO (Johnston soils) 0.0%
(Per the USDA websoil survey map)

VICINITY MAP (NOT TO SCALE):



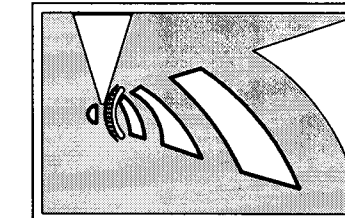
REVISIONS

NO.	DESCRIPTION	DATE

RECEIVED
By waltonj at 8:33 am, Sep 08, 2020

INTRACOASTAL
ENGINEERING, PLLC

5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
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Email: charlie@intracoastalengineering.com
License Number: P-0662

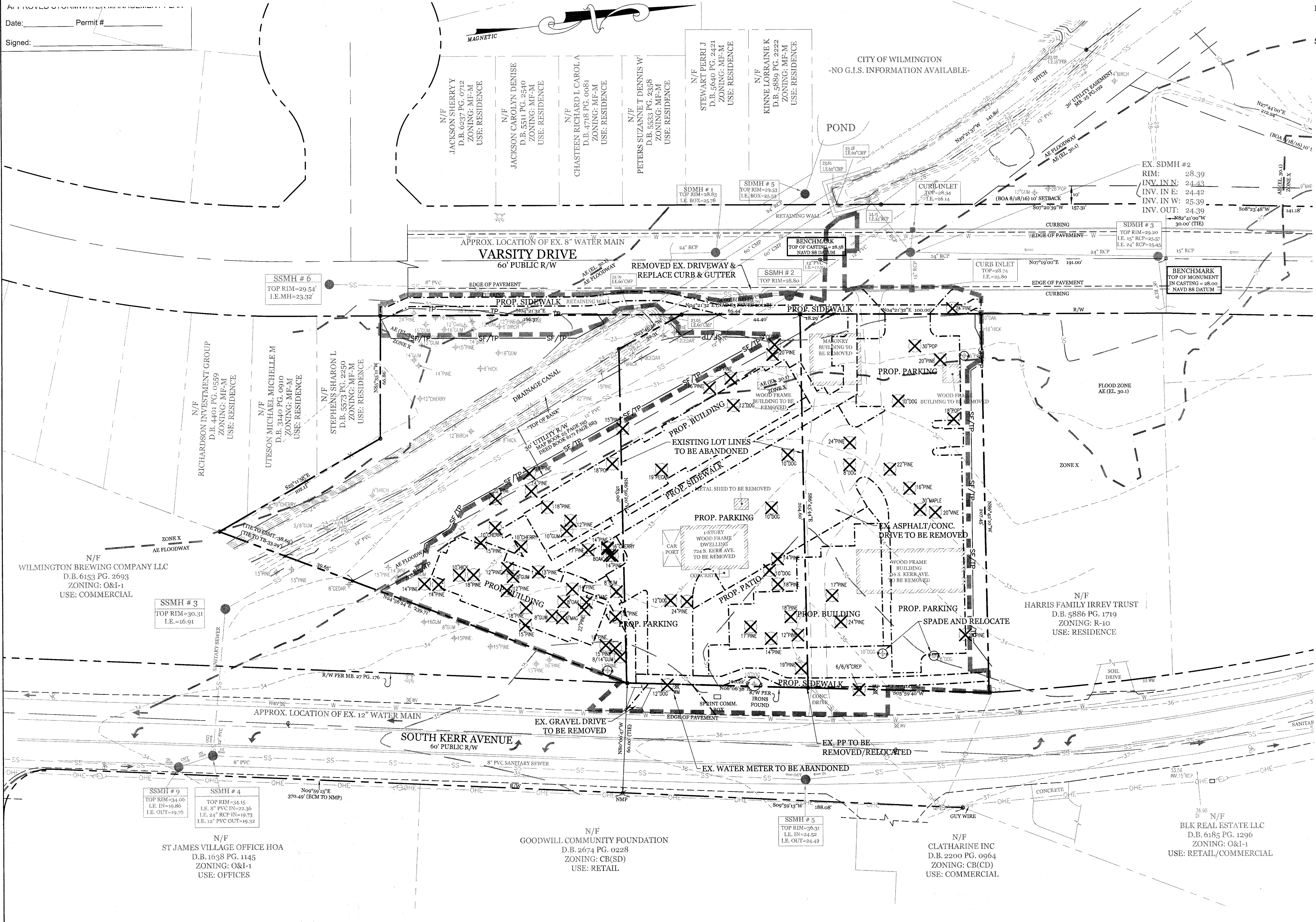


EXISTING CONDITIONS /
TREE REMOVAL &
PROTECTION PLAN

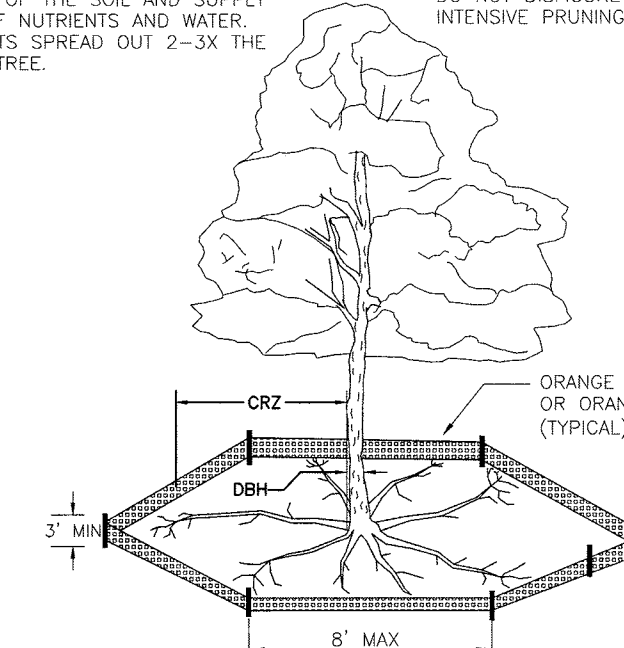
PROTECTION PLAN
FOR

THE VARSITY

611 VARSITY DR, 724 & 716 SOUTH KERR AVE,
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

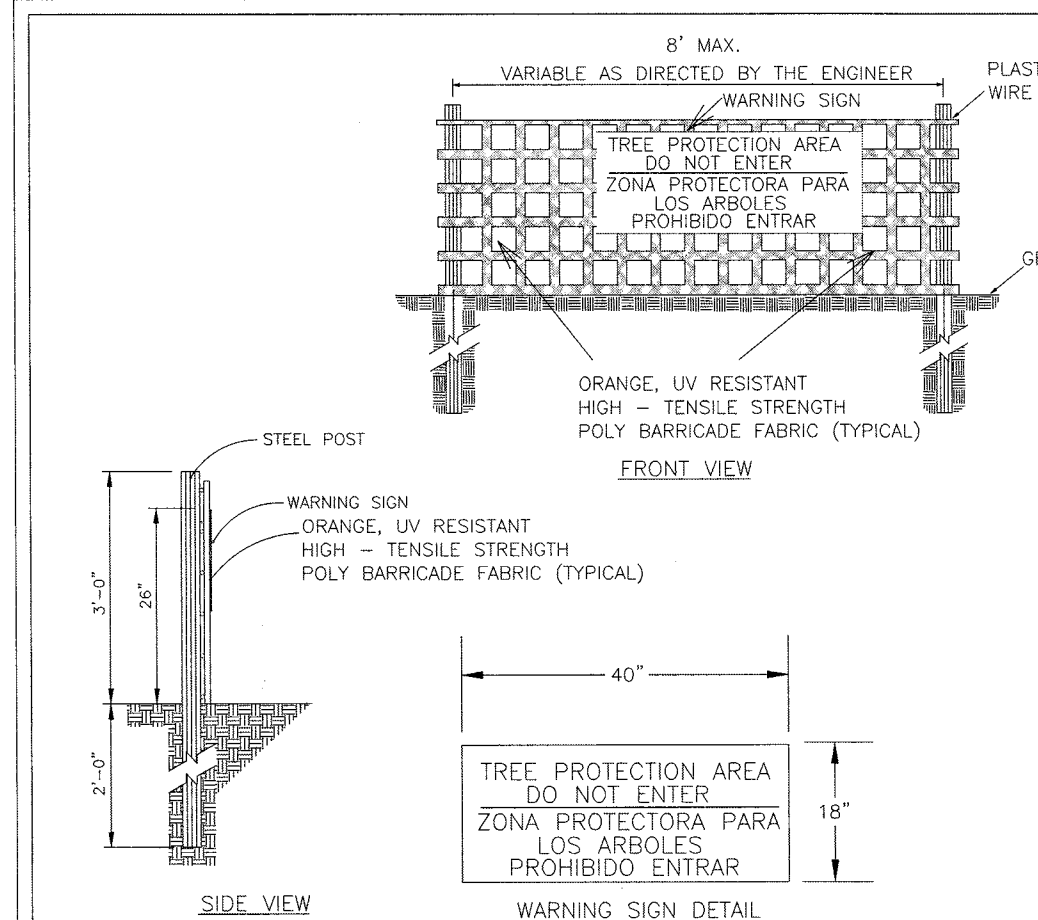


NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



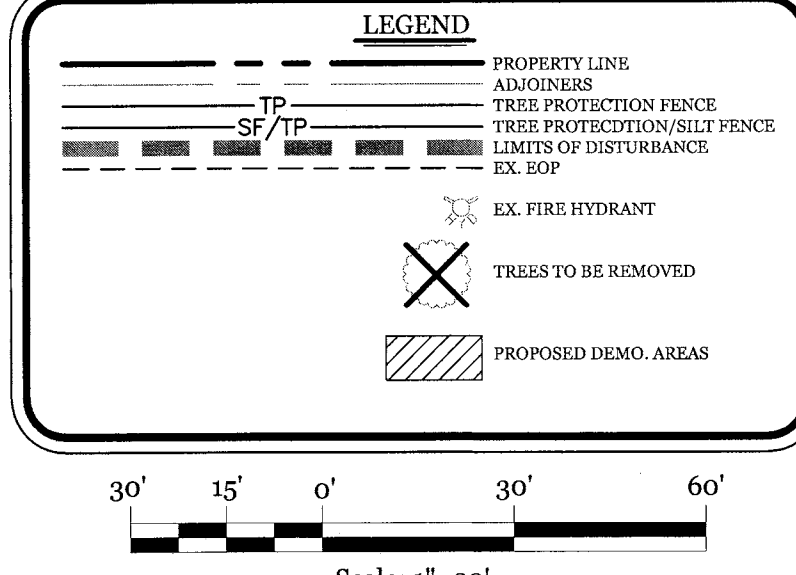
- 1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
- 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
- 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
- 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
- 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

DATE: JAN. 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: RKO, P.E.	SHEET 1 of 2	PO BOX 1810
SCALE: NOT TO SCALE		WILMINGTON, NC 28402
		(910) 341-7807



- 1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
- 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
- 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
- 4. ATTACH SIGNS SECURELY TO FENCE AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
- 5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION. FIELD CONDITIONS.
- 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

DATE: JAN. 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: RKO, P.E.	SHEET 2 of 2	PO BOX 1810
SCALE: NOT TO SCALE		WILMINGTON, NC 28402
		(910) 341-7807



- 1. EXISTING SURVEY DATA PROVIDED BY VERNON DEREK DANFORD, N.C. PLS No. L-4528.
- 2. NO WETLANDS EXIST ON SITE.
- 3. THE DRAINAGE FEATURE RUNNING THROUGH THE PROPERTY HAS BEEN DETERMINED TO NOT BE CONSIDERED A STREAM BY NC DEQ REPRESENTATIVE CHAD COBURN.
- 4. THIS PROPERTY IS NOT AFFECTED BY AN AEC.
- 5. NO CONSERVATION RESOURCES EXIST ON SITE.
- 6. THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
- 7. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.
- 8. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
- 9. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 10. TREE PROTECTION SIGNAGE SHALL BE ADDED ALONG THE LIMITS OF DISTURBANCE ADJACENT TO TREES EVERY 100' TO PROTECT TREES ADJACENT TO THE CONSTRUCTION SITE.

CLIENT INFORMATION:
Real Properties, LLC.
1319-CC Military Cutoff Rd #172
Wilmington, NC 28405
Ph. 910-538-9901

DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 8/24/2020
APPROVED: CDC	SCALE: 1" = 30'
PROJECT NUMBER: 2019-021	

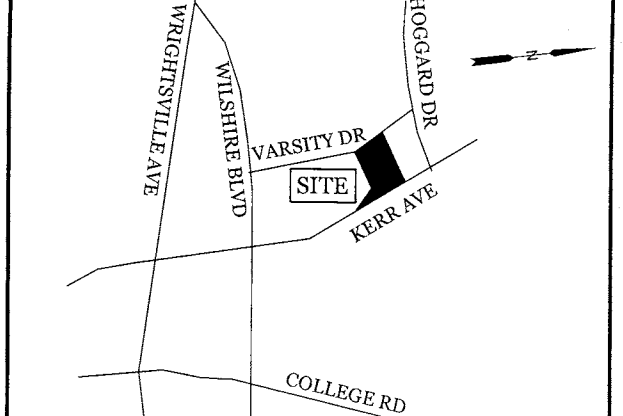
DRAWING NUMBER: C-0 1 OF 8

THE VARSITY APPROVED 9/8/20 SWP 2020026 JW, RC, BM, CW

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

VICINITY MAP (NOT TO SCALE):



REVISIONS	

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910.859.8983
 Email: Charlie@intracoastalengineering.com
 License Number: P-0662

SITE PLAN
 FOR
THE VARSITY
 611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

SITE DATA

PARCEL ID:	R05511-001-004-002, R05511-001-001-000, R05511-001-002-000	
CURRENT ZONING:	O&I-1 (CD)	
CAMA LAND USE CLASSIFICATION:	URBAN & CONSERVATION AREA	
PROJECT ADDRESS:	611 VARSITY DR, 724 & 716 SOUTH KERR AVE, WILMINGTON, NC 28403	
CURRENT OWNER:	REAL PROPERTIES LLC 1319 MILITARY CUTOFF RD SUITE CC WILMINGTON, NC 28405	
TOTAL ACREAGE IN PROJECT BOUNDARY:	68,115 S.F. (± 1.56 ac.)	
TOTAL DISTURBED AREA:	1.2 ACRES	
NUMBER OF BUILDINGS:	3	
NUMBER OF RESIDENTIAL UNITS:	24 TOTAL (13 @ 2BDR & 11 @ 1 BDR)	
TOTAL BUILDING SIZE IN GFA:	COMMERCIAL: 6,175 S.F. RESIDENTIAL: 25,378 S.F. TOTAL: 31,553 S.F. GFA	
See plan for individual building breakdowns		
BUILDING HEIGHT:	± 38' / 3 STORY (45' MAX. ALLOWED)	
BUILDING SETBACKS:		
FRONT:	REQUIRED = 20'	PROPOSED = VARIES/20' MIN
SIDE:	REQUIRED = 10' (20' TO RES. USE)	PROPOSED = VARIES/10' MIN
REAR:	REQUIRED = 20' (25' TO RES. USE)	PROPOSED = N/A

CALCULATION FOR BUILDING COVERAGE:

PROPOSED COVERAGE:	10,980 S.F. + 68,115 S.F. = 16.1%
PARKING REQUIRED:	46 SPACES MIN & 101 SPACES MAX.*
*PER THE CONDITIONAL DISTRICT REZONING CASE SUMMARY	
PARKING PROVIDED:	48 SPACES (2 H.C.)
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)	
REQUIRED:	5 SPACES
PROVIDED:	20 SPACES

FOUNDATION PLANTINGS:

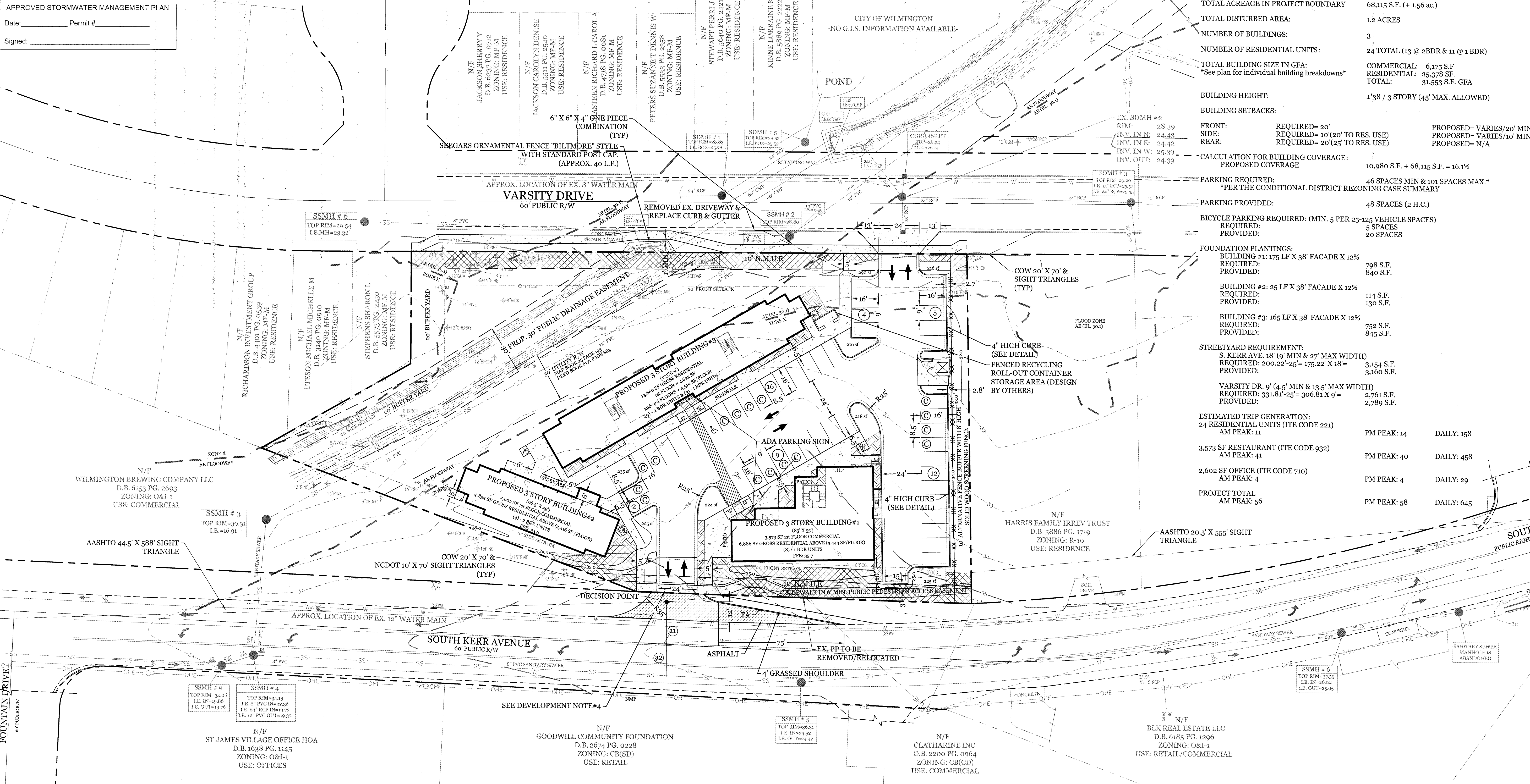
BUILDING #1: 175 LF X 38' FACADE X 12%	798 S.F.
REQUIRED:	840 S.F.
PROVIDED:	
BUILDING #2: 25 LF X 38' FACADE X 12%	114 S.F.
REQUIRED:	130 S.F.
PROVIDED:	
BUILDING #3: 165 LF X 38' FACADE X 12%	752 S.F.
REQUIRED:	845 S.F.
PROVIDED:	

STREETYARD REQUIREMENT:

S. KERR AVE, 18' (9' MIN & 27' MAX WIDTH)	3,154 S.F.
REQUIRED: 200.22'-25' = 175.22' X 18'	3,160 S.F.
PROVIDED:	
Varsity Dr, 9' (4.5' MIN & 13.5' MAX WIDTH)	2,761 S.F.
REQUIRED: 331.81'-25' = 306.81' X 9'	2,789 S.F.
PROVIDED:	

ESTIMATED TRIP GENERATION:

24 RESIDENTIAL UNITS (ITE CODE 221)		
AM PEAK: 11	PM PEAK: 14	DAILY: 158
3,573 SF RESTAURANT (ITE CODE 932)		
AM PEAK: 41	PM PEAK: 40	DAILY: 458
2,602 SF OFFICE (ITE CODE 710)		
AM PEAK: 4	PM PEAK: 4	DAILY: 29
PROJECT TOTAL		
AM PEAK: 56	PM PEAK: 58	DAILY: 645

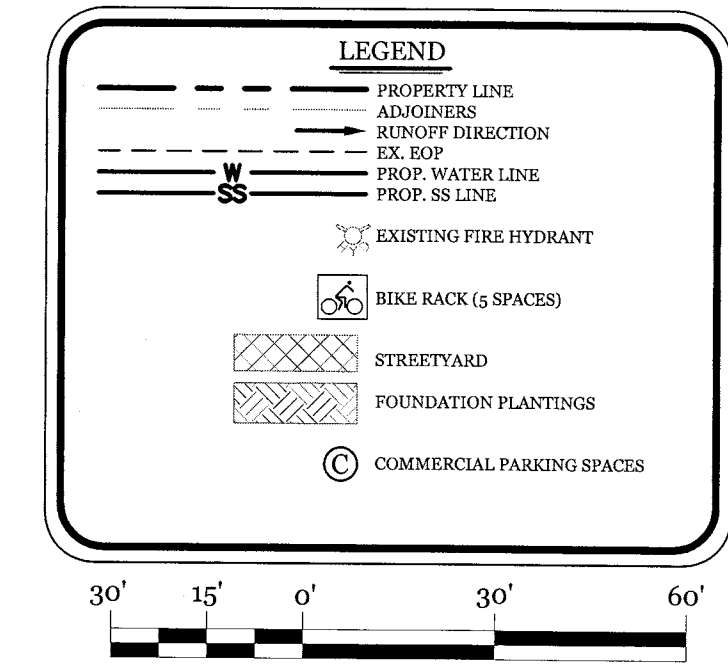


- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
 - ALL ROOF RUNOFF TO BE DIRECTED TO DEWATERATION SYSTEM, ROOF DOWNSCALES TO BE COORDINATED WITH ENGINEER FOR APPROPRIATE DIRECTION TO DESIGNED SYSTEM.
 - THE SECTION OF SIDEWALK AT THE REAR OF THE SOUTH KERR DRIVEWAY APRON MUST STILL BE CONSTRUCTED WITH A THICKNESS OF 6 INCHES PER THE CITY STANDARD DETAIL SD 3-03/3/4.
- GENERAL TRAFFIC NOTES:**
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD 15-13 & SD 11-3 COW TECH STDS)
 - ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. (DETAIL SD 15-13 & SD 11-3 COW TECH STDS)
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-3896 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT 841 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING (341-7888) REGARDING THE UTILITIES IN ROW.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

- CD-14-119 CONDITIONS:**
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
 - APPROVAL OF THIS CONDITIONAL DISTRICT REZONING DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE AND THE ASSURANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO THE RELEASE OF THE PROJECT FOR CONSTRUCTION.
 - IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
 - THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AND ELEVATIONS APPROVED BY CITY COUNCIL.
 - THE PROPOSED USE SHALL BE LIMITED TO A MAXIMUM OF THREE (3) BUILDINGS, CONTAINING NO MORE THAN 30 APARTMENT UNITS AND NO LESS THAN TWO DIFFERENT NON-RESIDENTIAL USES OCCUPYING AT LEAST 5,200 SQUARE FEET OF GROUND-FLOOR COMMERCIAL SPACE.
 - NO BUILDING SHALL EXCEED 45 FEET IN HEIGHT.
 - NO BUILDING ELEVATIONS SHALL BE GENERALLY CONSISTENT WITH THE SUBMITTED CONCEPTUAL ELEVATIONS.
 - THE GROUND FLOOR FACADE OF THE MIXED-USE BUILDING FRONTING SOUTH KERR AVENUE SHALL BE CONSISTENT WITH A MORE COMMERCIAL APPEARANCE. THIS FACADE SHALL CONSIST PREDOMINANTLY OF A STOREFRONT WINDOW SYSTEM.
 - AN EIGHT-FOOT TALL WOODEN FENCE IN CONJUNCTION WITH A 30-FOOT LANDSCAPED BUFFER SHALL BE LOCATED ALONG THE NORTHERN PROJECT BOUNDARY.
 - A 20-FOOT WIDE LANDSCAPED BUFFER SHALL BE LOCATED ALONG THE SOUTHERN PROJECT BOUNDARY.
 - THE APPLICANT SHALL CONSTRUCT A FIVE-FOOT WIDE SIDEWALK INSIDE THE PROPERTY BOUNDARY ADJACENT TO SOUTH KERR AVENUE. A SIX-FOOT WIDE PEDESTRIAN ACCESS EASEMENT SHALL BE PROVIDED.
 - ALL EXISTING PROTECTED TREES NOT LOCATED WITHIN THE BUILDING FOOT PRINT OR IMPACTED BY ESSENTIAL SITE IMPROVEMENTS SHALL BE PRESERVED OR MITIGATED.
 - THE APPLICANT SHALL PLACE A HANDRAIL BETWEEN THE SIDEWALK ALONG VARSITY DRIVE AND THE EXISTING EXPOSED PORTIONS OF BURNT MILL CREEK LOCATED ON THE SITE. THE HANDRAIL WILL PROVIDE PROTECTION SO THAT IN NO INSTANCE SHALL THERE BE SIDEWALK WITHIN FIVE (5) FEET OF THE EXPOSED DRAINAGE DITCH WITH NO HANDRAIL AS A BARRIER.
 - EXTERIOR SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO ADJACENT RESIDENTIAL PARCELS.
 - ANY FREESTANDING SIGN(S) ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN; NO POLE SIGNS SHALL BE PERMITTED.
 - THE CREATIVE STANDARD SHALL NOT BE USED TO SATISFY THE STREET YARD LANDSCAPING REQUIREMENTS.
 - ALL CITY, STATE, AND FEDERAL REGULATIONS SHALL BE FOLLOWED.

STRIPING LEGEND
 TA= THERMOPLASTIC (4" WHITE 90 MIL) EDGELINE

- RIGHT OF WAY STRIPING NOTES:**
- CONTRACTOR SHALL COMPLY WITH NCDOT STANDARD SPECIFICATIONS FOR PAVEMENT MARKINGS, STD 1205.05
 - CONTRACTOR SHALL CONTACT TRAFFIC SERVICES (910-341-2000) FOR STRIPING LAYOUT.
 - CONTRACTOR SHALL COMPLY WITH USDOT PART VI STANDARDS AND GUIDES FOR TRAFFIC CONTROLS FOR HIGHWAY MAINTENANCE.



CLIENT INFORMATION:
 Real Properties, LLC.
 Matt Scharf
 1319-CC Military Cutoff Rd #172
 Wilmington, NC 28405
 Ph. 910-538-9901

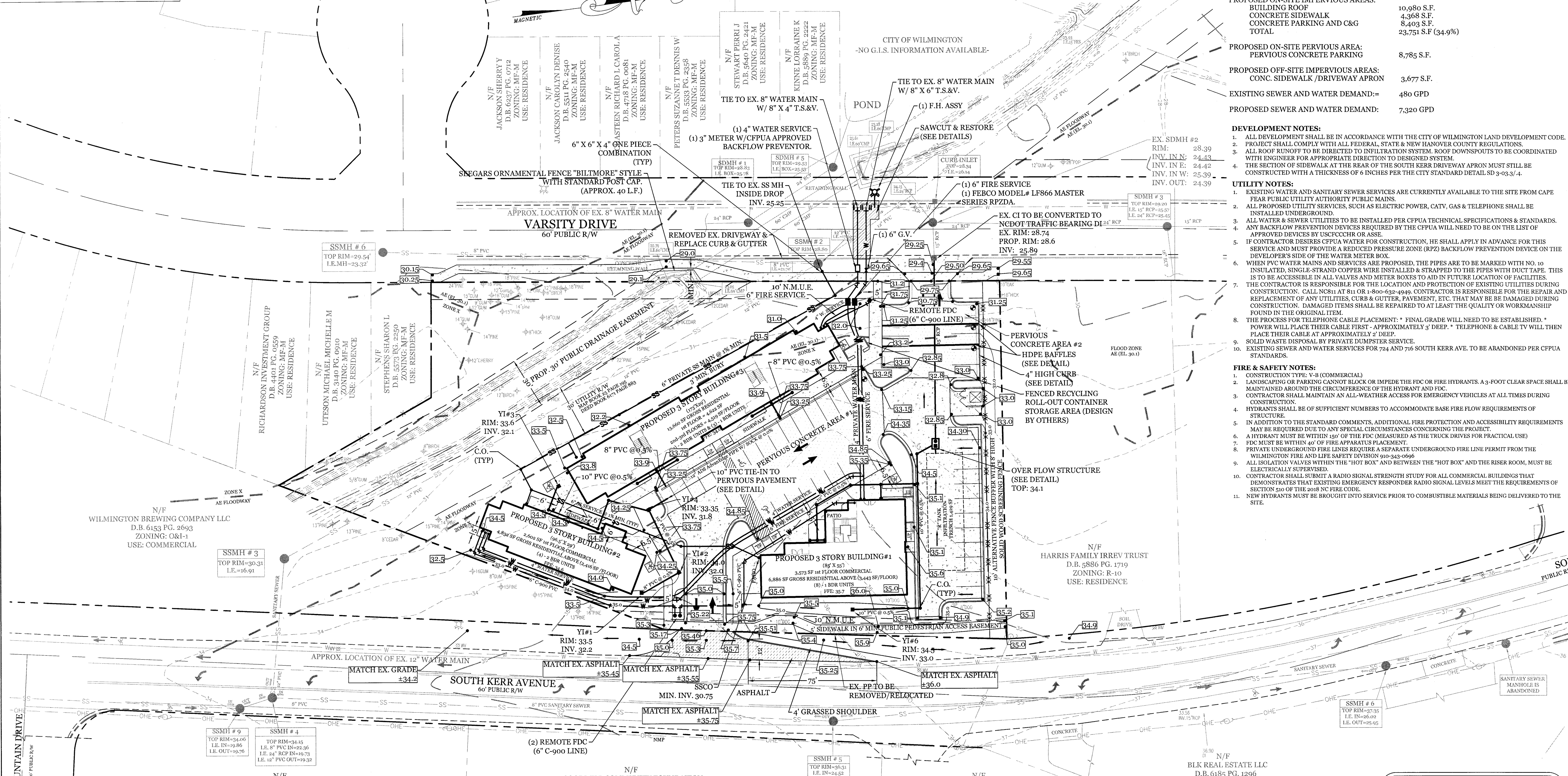
DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/24/2020
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2019-021		

DRAWING NUMBER: **C-1**
 2 OF 8

THE VARSITY APPROVED 9/8/20 SWP 2020026 JW, RC, BM, CW

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____



SITE DATA

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CURRENT ZONING: O&I-1 (CD)

CAMA LAND USE CLASSIFICATION: URBAN & CONSERVATION AREA

PROJECT ADDRESS: 611 VARSITY DR, 724 & 716 SOUTH KERR AVE. WILMINGTON, NC 28403

CURRENT OWNER: REAL PROPERTIES LLC
1319 MILITARY CUTOFF RD SUITE CC WILMINGTON, NC 28405

TOTAL ACREAGE IN PROJECT BOUNDARY: 68,115 S.F. (± 1.56 ac.)

TOTAL DISTURBED AREA: 1.3 ACRES

CALCULATION FOR BUILDING COVERAGE:
PROPOSED COVERAGE: 10,980 S.F. + 68,115 S.F. = 16.1%

PROPOSED ON-SITE IMPERVIOUS AREAS:
BUILDING ROOF: 10,980 S.F.
CONCRETE SIDEWALK: 4,368 S.F.
CONCRETE PARKING AND C&G: 8,403 S.F.
TOTAL: 23,751 S.F. (34.9%)

PROPOSED ON-SITE PERVIOUS AREA:
PERVIOUS CONCRETE PARKING: 8,785 S.F.

PROPOSED OFF-SITE IMPERVIOUS AREAS:
CONC. SIDEWALK /DRIVEWAY APRON: 3,677 S.F.

EXISTING SEWER AND WATER DEMAND: 480 GPD

PROPOSED SEWER AND WATER DEMAND: 7,320 GPD

DEVELOPMENT NOTES:

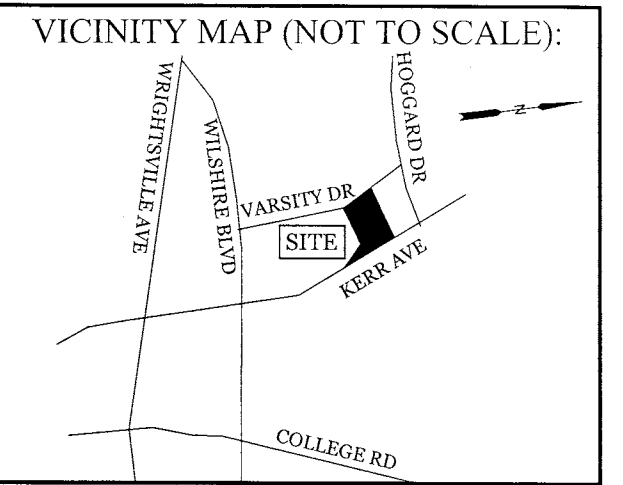
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- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- ALL ROOF RUNOFF TO BE DIRECTED TO INFILTRATION SYSTEM. ROOF DOWNSPOUTS TO BE COORDINATED WITH ENGINEER FOR APPROPRIATE DIRECTION TO DESIGNED SYSTEM.
- THE SECTION OF SIDEWALK AT THE REAR OF THE SOUTH KERR DRIVEWAY APRON MUST STILL BE CONSTRUCTED WITH A THICKNESS OF 6 INCHES PER THE CITY STANDARD DETAIL SD-9-03-3/4.

UTILITY NOTES:

- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
- ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
- ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCPCOCH OR ASSE.
- IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL NCR11 AT 811 OR 1-800-622-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- THE PROCESS FOR TELEPHONE CABLE PLACEMENT - FINAL GRADE WILL NEED TO BE ESTABLISHED. POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. TELEPHONE & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
- SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
- EXISTING SEWER AND WATER SERVICES FOR 724 AND 716 SOUTH KERR AVE. TO BE ABANDONED PER CFPWA STANDARDS.

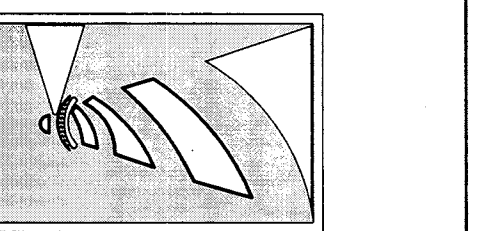
FIRE & SAFETY NOTES:

- CONSTRUCTION TYPE: V-8 (COMMERCIAL)
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FLOW REQUIREMENTS OF STRUCTURE.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0666
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE SITE.

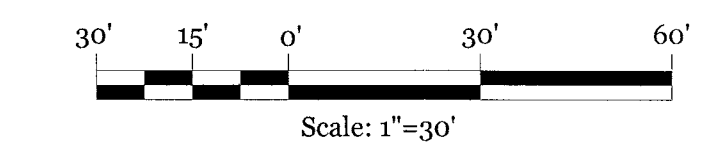
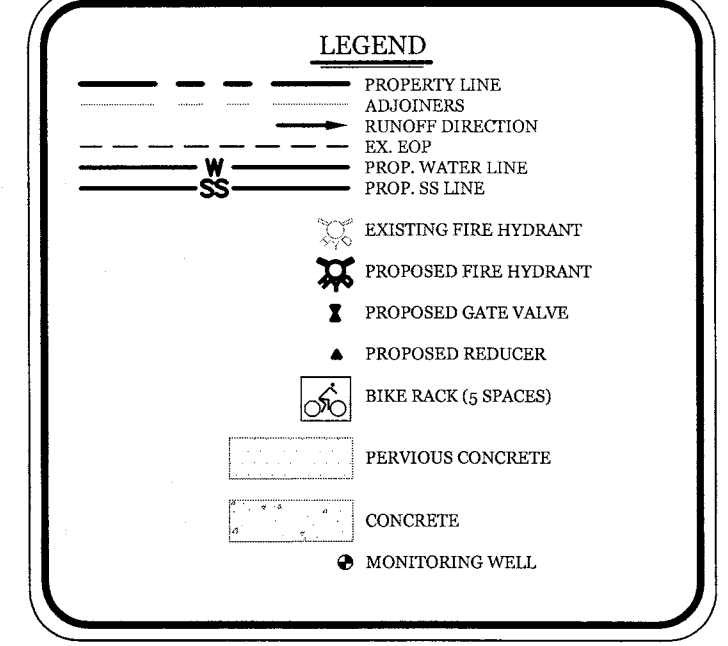


NO.	REVISIONS

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: charlie@intracoastalengineering.com
License Number: P-0662



GRADING, DRAINAGE, & UTILITIES PLAN FOR THE VARSITY
611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
Real Properties, LLC.
Matt Scharf
1319-CC Military Cutoff Rd #172
Wilmington, NC 28405
Ph. 910-538-9901

DRAWN: JAE SHEET SIZE: 24x36
CHECKED: CDC DATE: 8/24/2020
APPROVED: CDC SCALE: 1" = 30'
PROJECT NUMBER: 2019-021

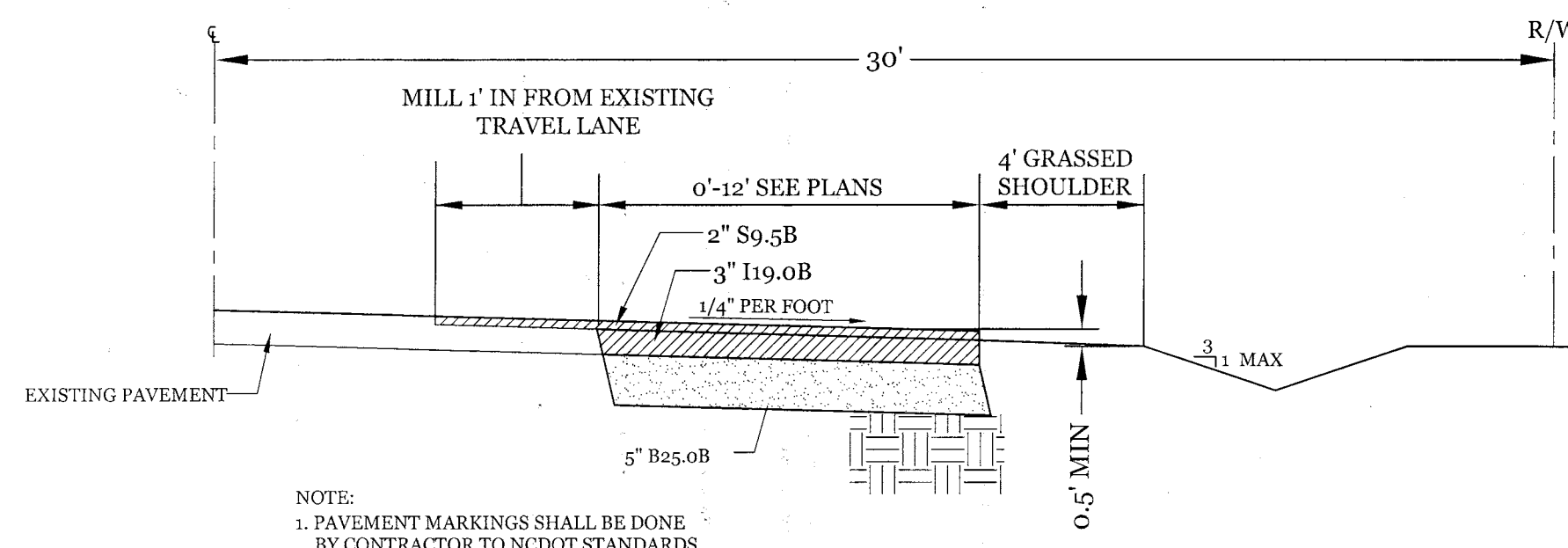
DRAWING NUMBER: **C-2**
3 OF 8

THE VARSITY
APPROVED 9/8/20
SWP 2020026
JW, RC, BM, CW

APPROVED STORMWATER MANAGEMENT PLAN

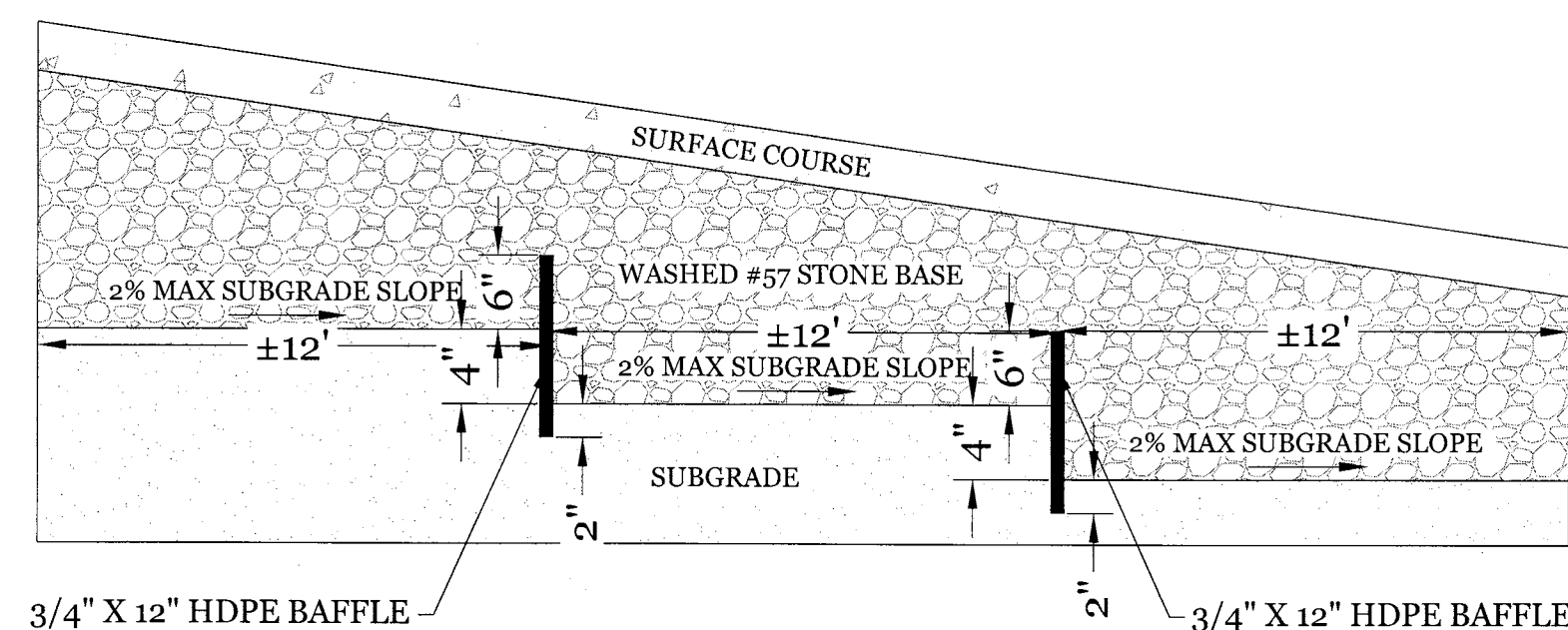
Date: _____ Permit # _____

Signed: _____

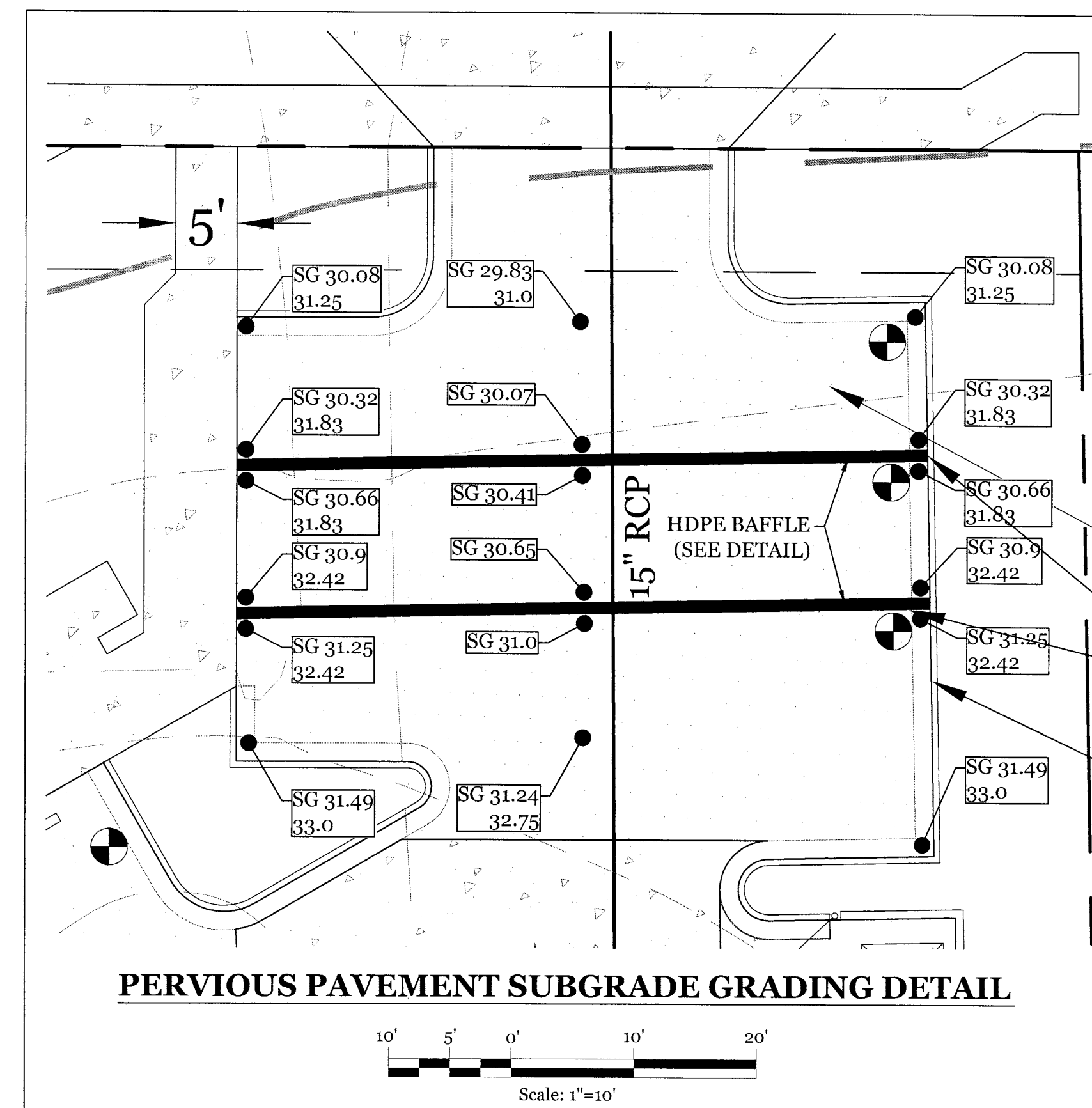


NOTE:
 1. PAVEMENT MARKINGS SHALL BE DONE BY CONTRACTOR TO NCDOT STANDARDS

NCDOT PAVEMENT WIDENING SECTION
 NTS

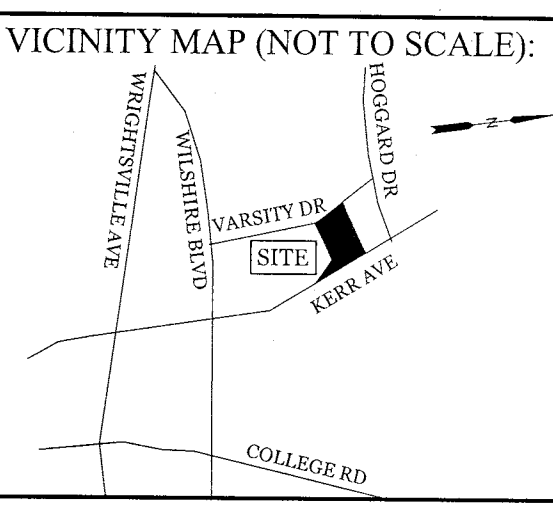


PERVIOUS PAVEMENT BAFFLE DETAIL
 NTS



PERVIOUS PAVEMENT SUBGRADE GRADING DETAIL

Scale: 1"=10'



REVISIONS

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910-859-8983
 Email: charlie@intracoastalengineering.com
 License Number: P-0662

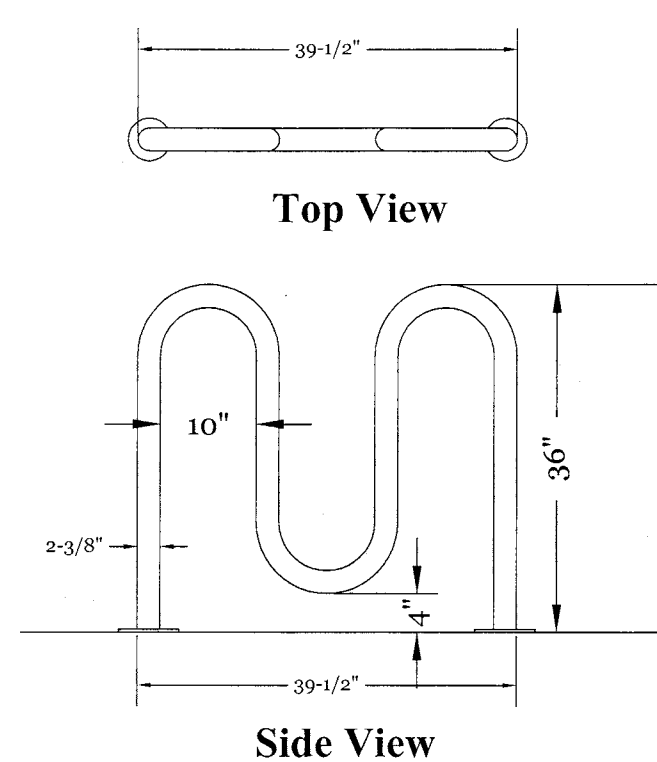
DETAILS FOR THE VARSITY
 611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC



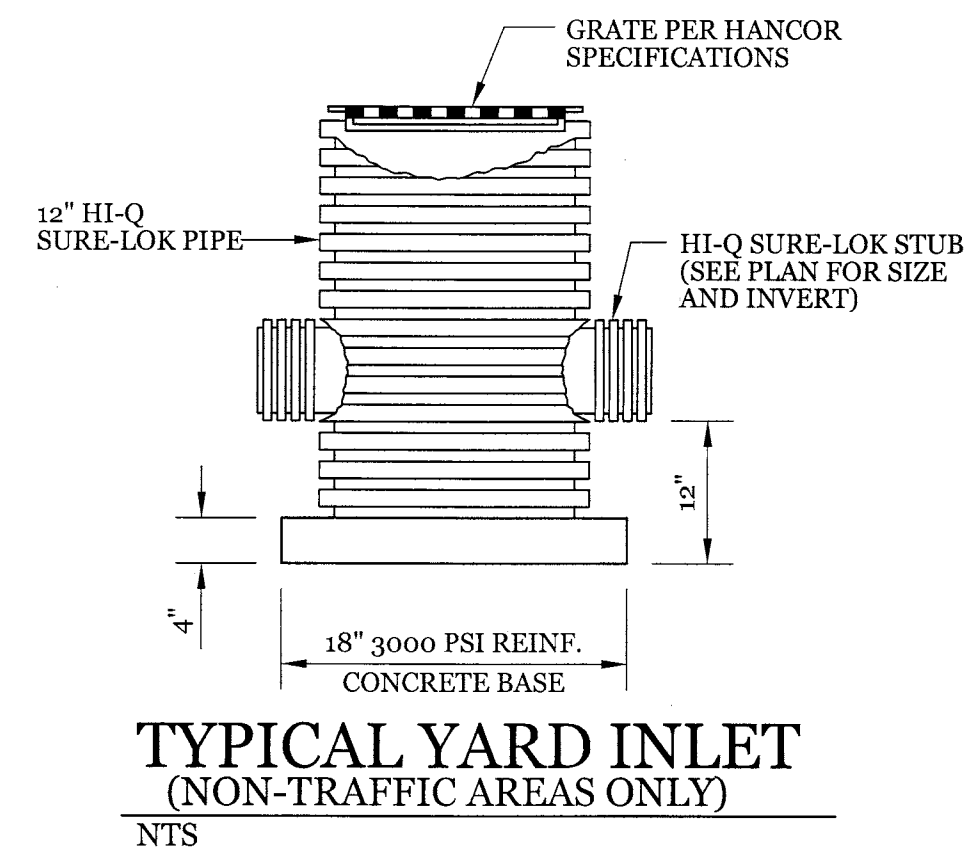
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 1319-CC Military Cutoff Rd #172
 Wilmington, NC 28405
 Ph. 910-538-9901

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/24/2020
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2019-021		

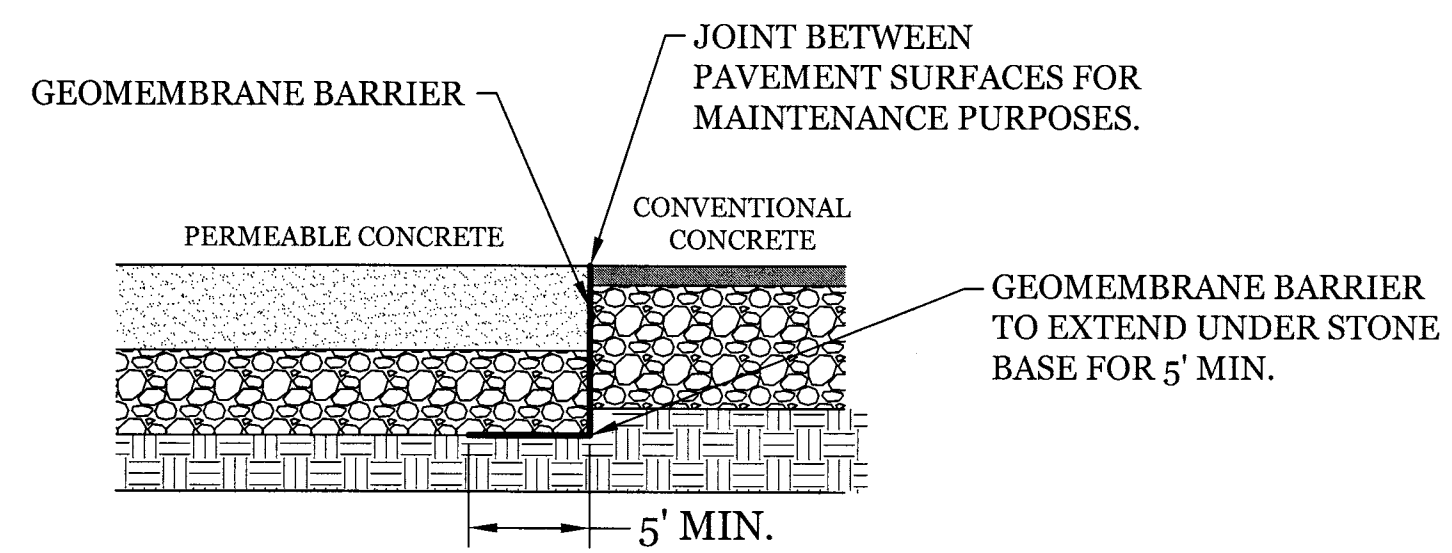
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 5 OF 8



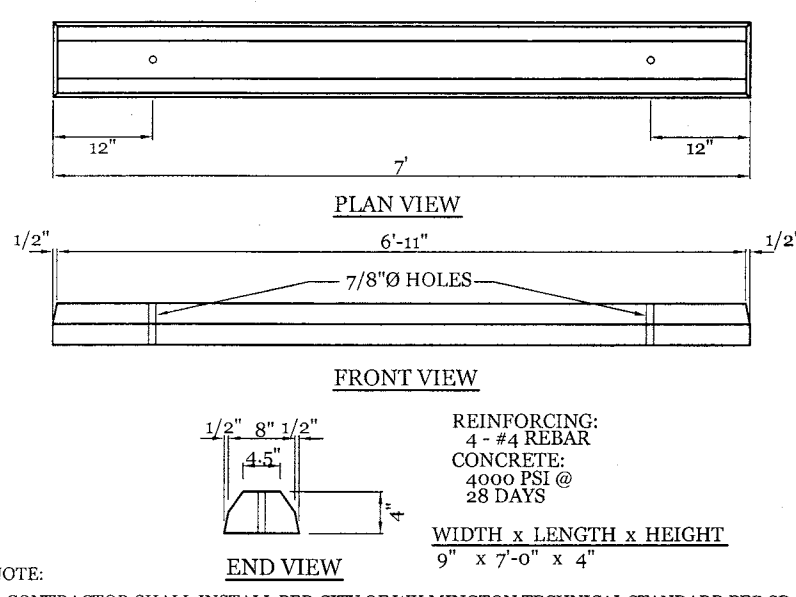
WAVE STYLE BIKE RACK DETAIL
 5 BIKE RACK
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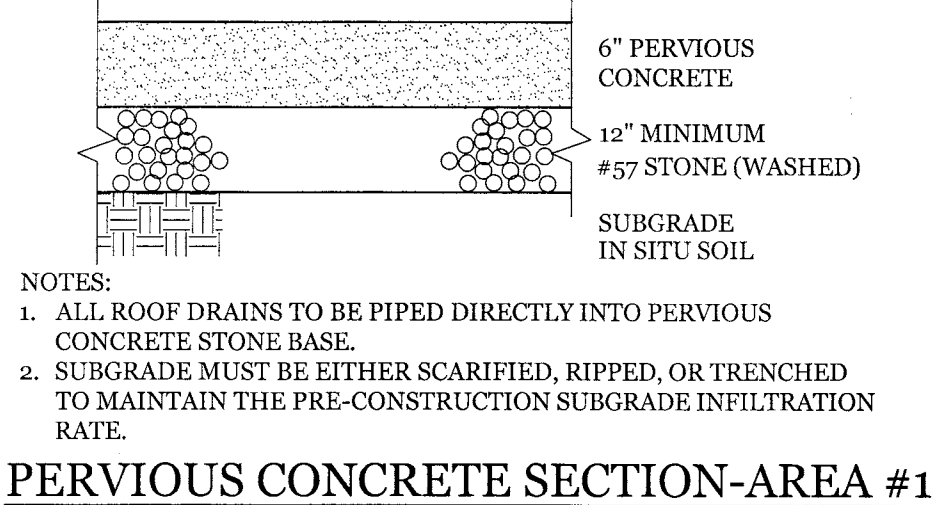
TYPICAL YARD INLET (NON-TRAFFIC AREAS ONLY)
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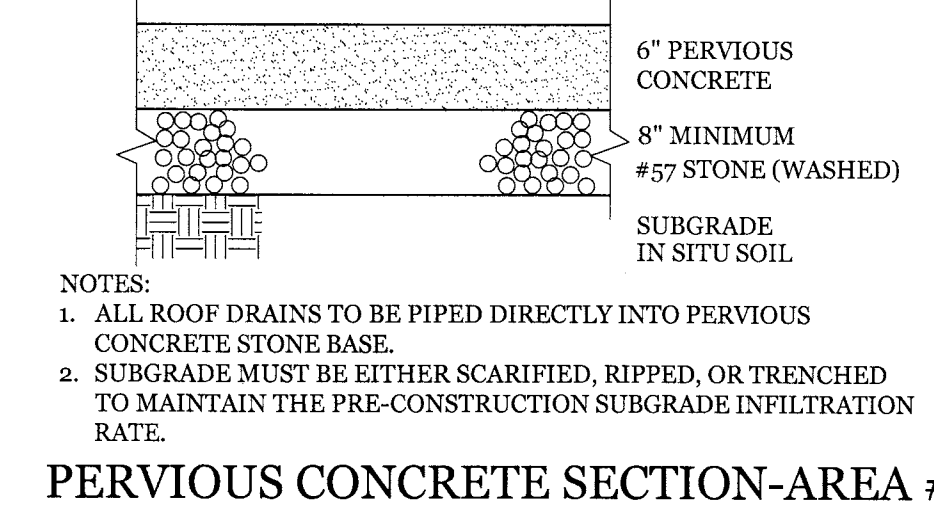
PERMEABLE CONCRETE ADJOINING CONVENTIONAL CONCRETE
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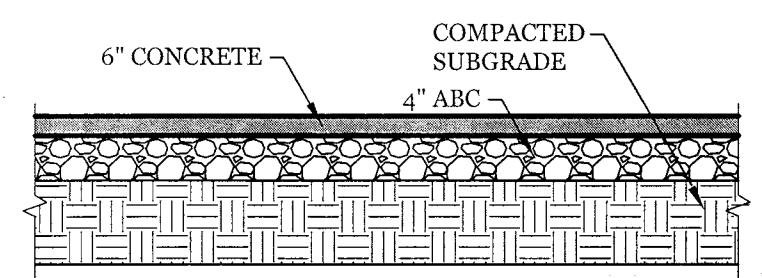
WHEEL STOP DETAIL
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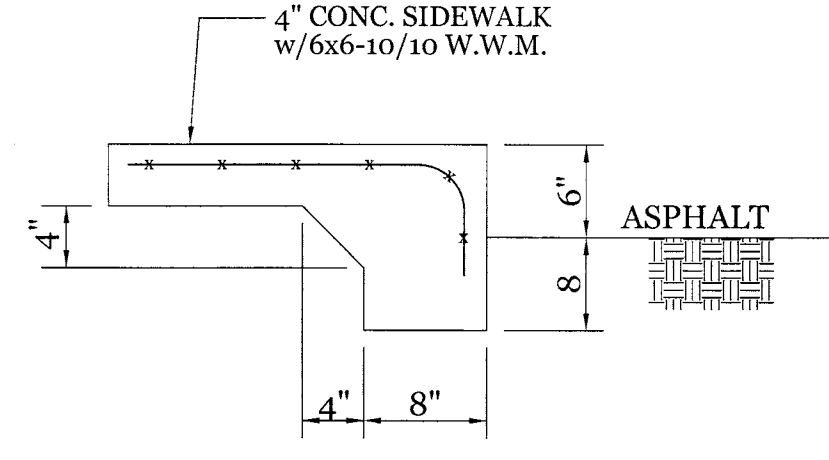
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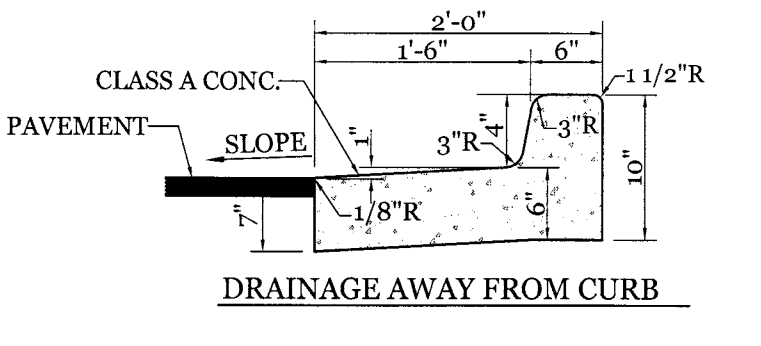
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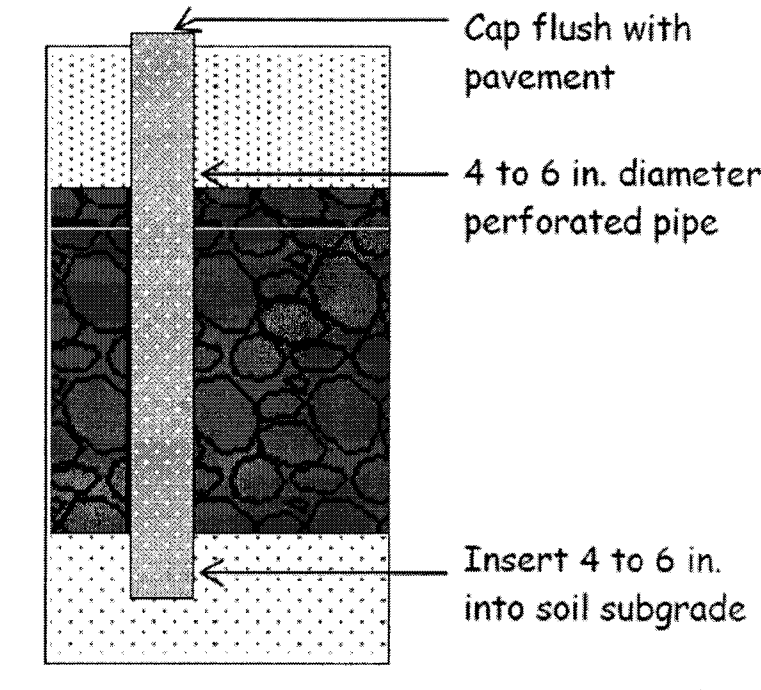
PARKING LOT PAVEMENT SECTION
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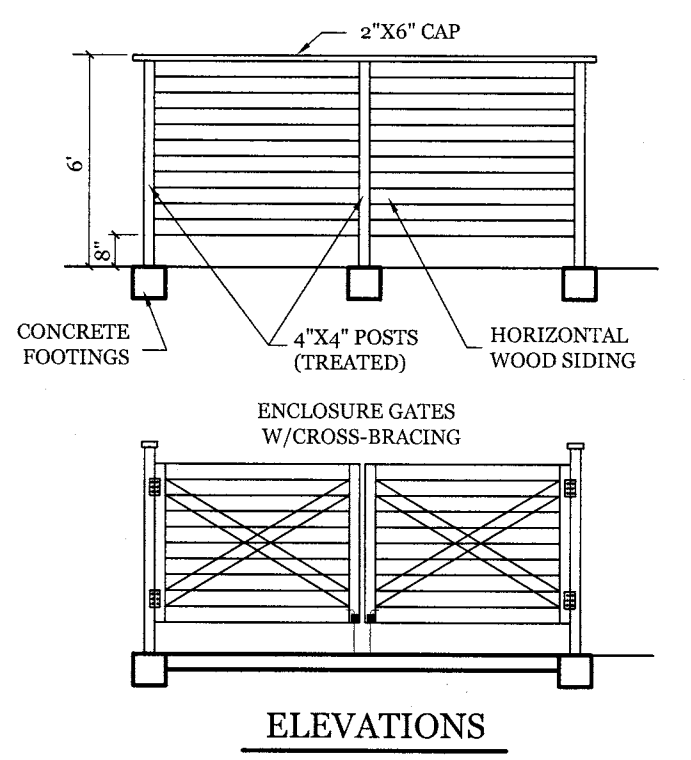
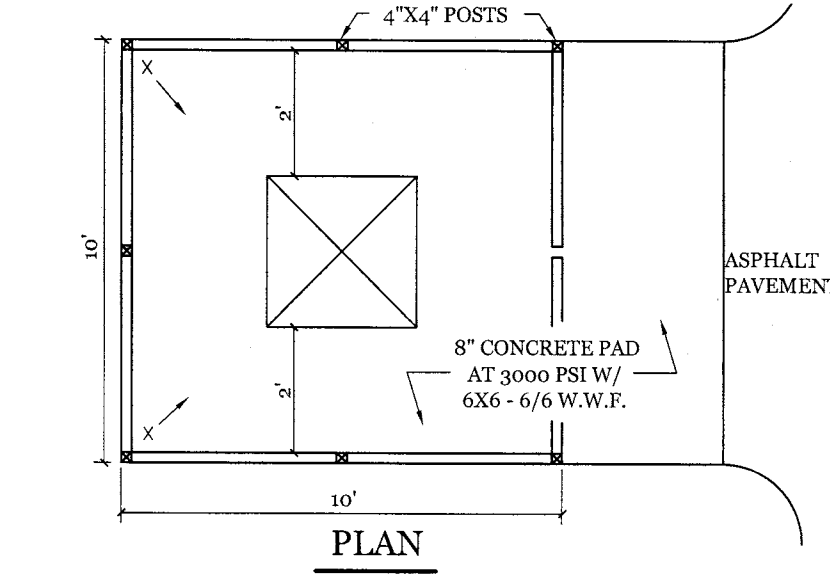
TURNDOWN SIDEWALK
 NTS



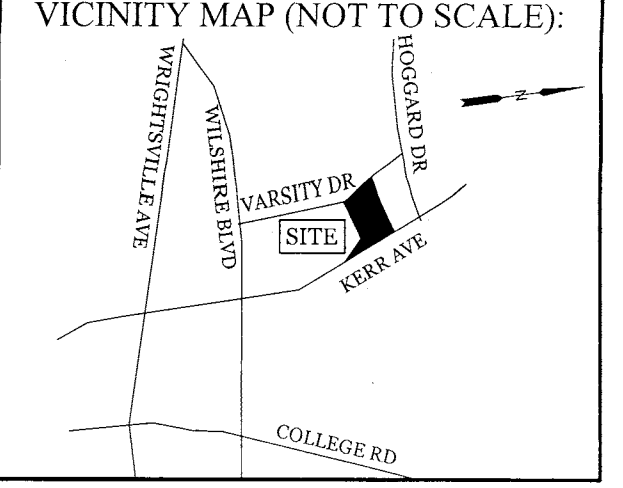
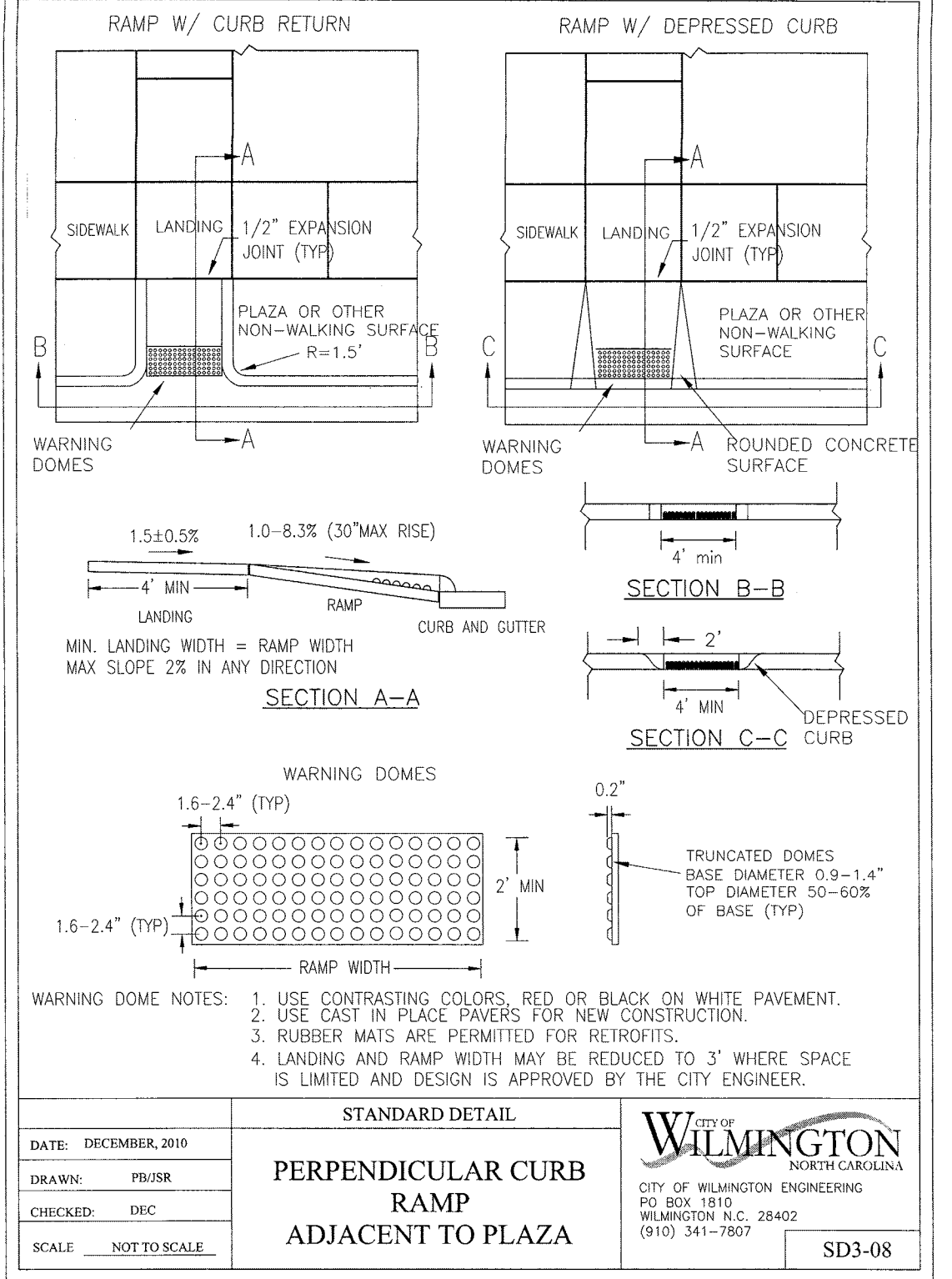
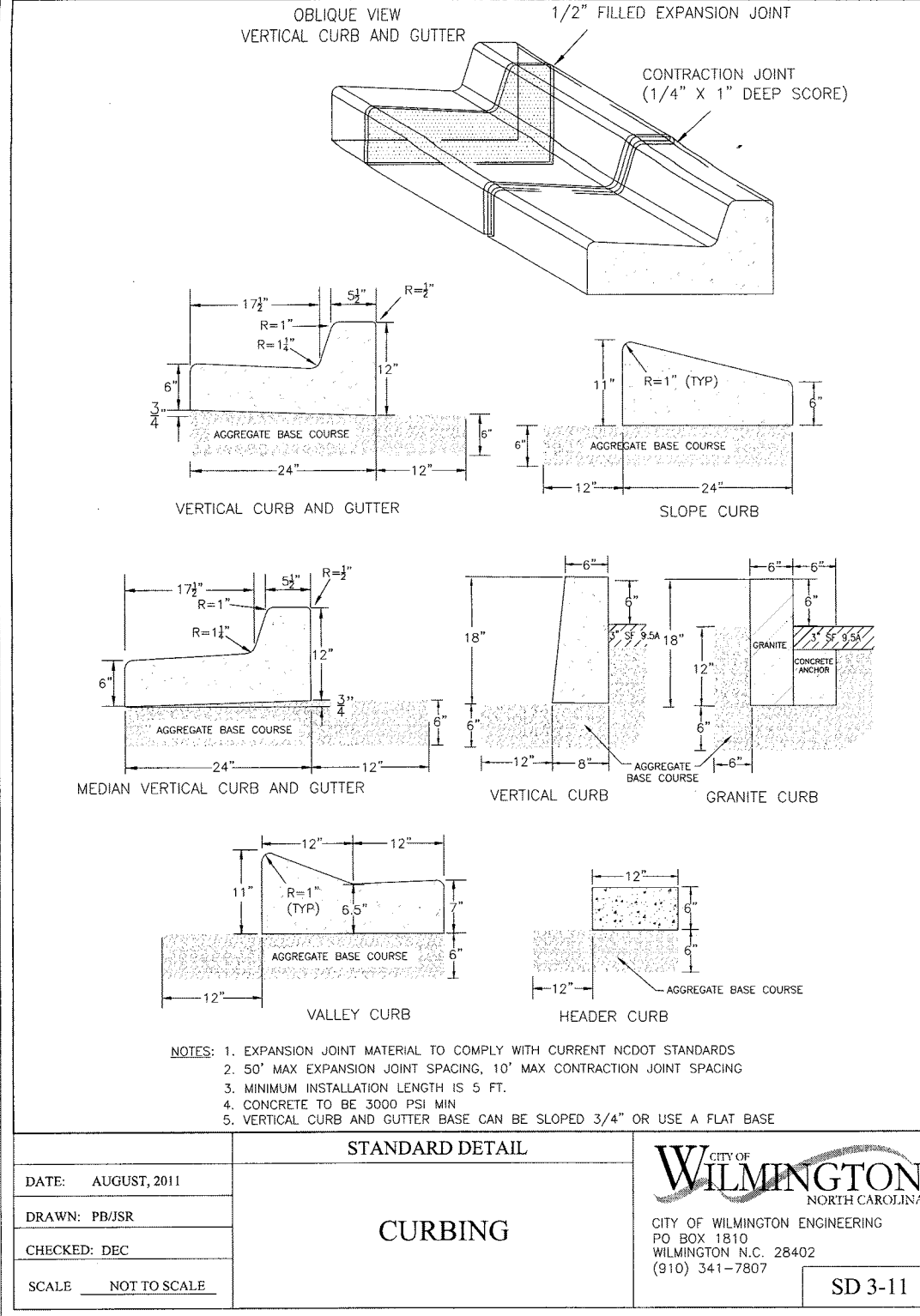
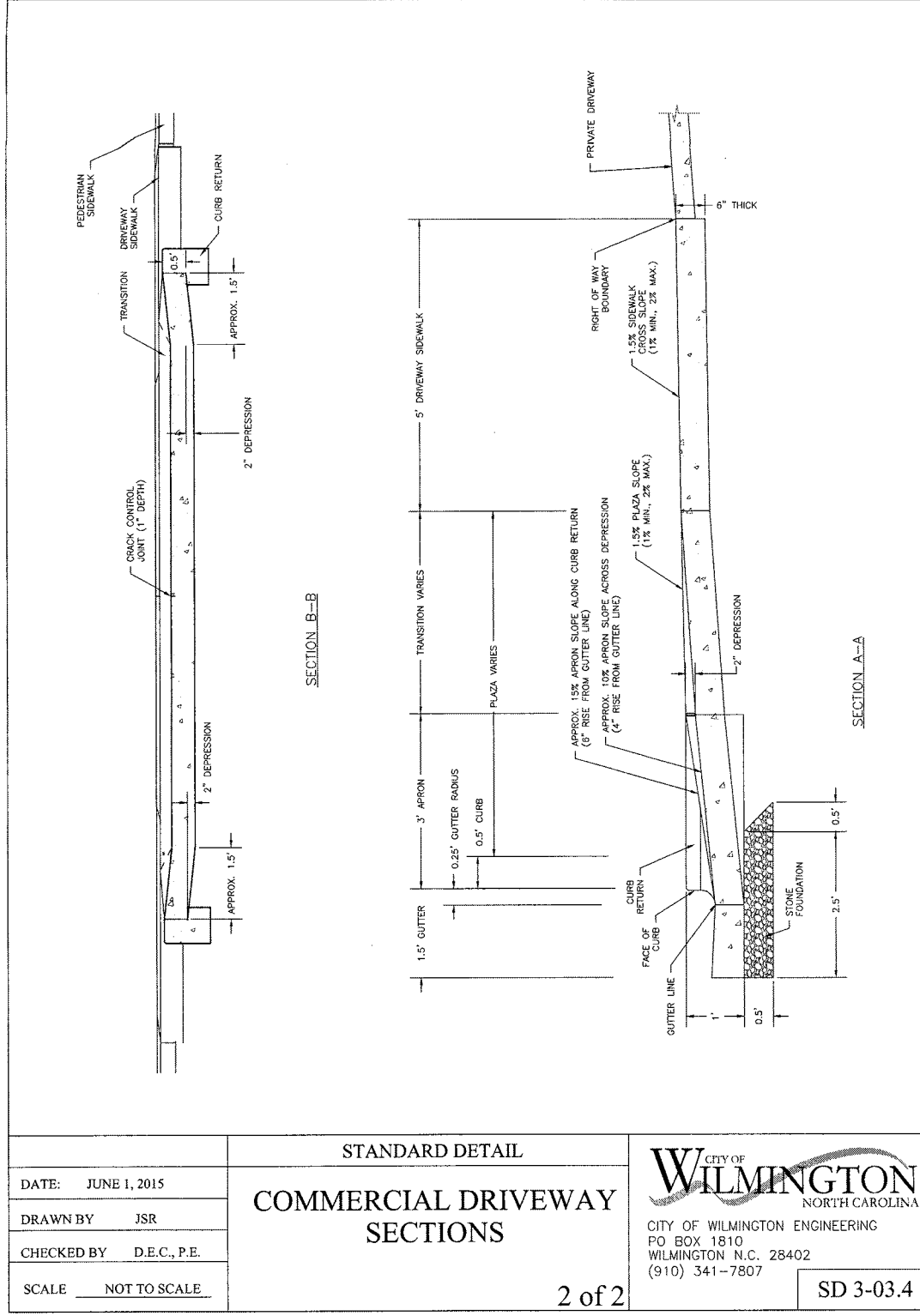
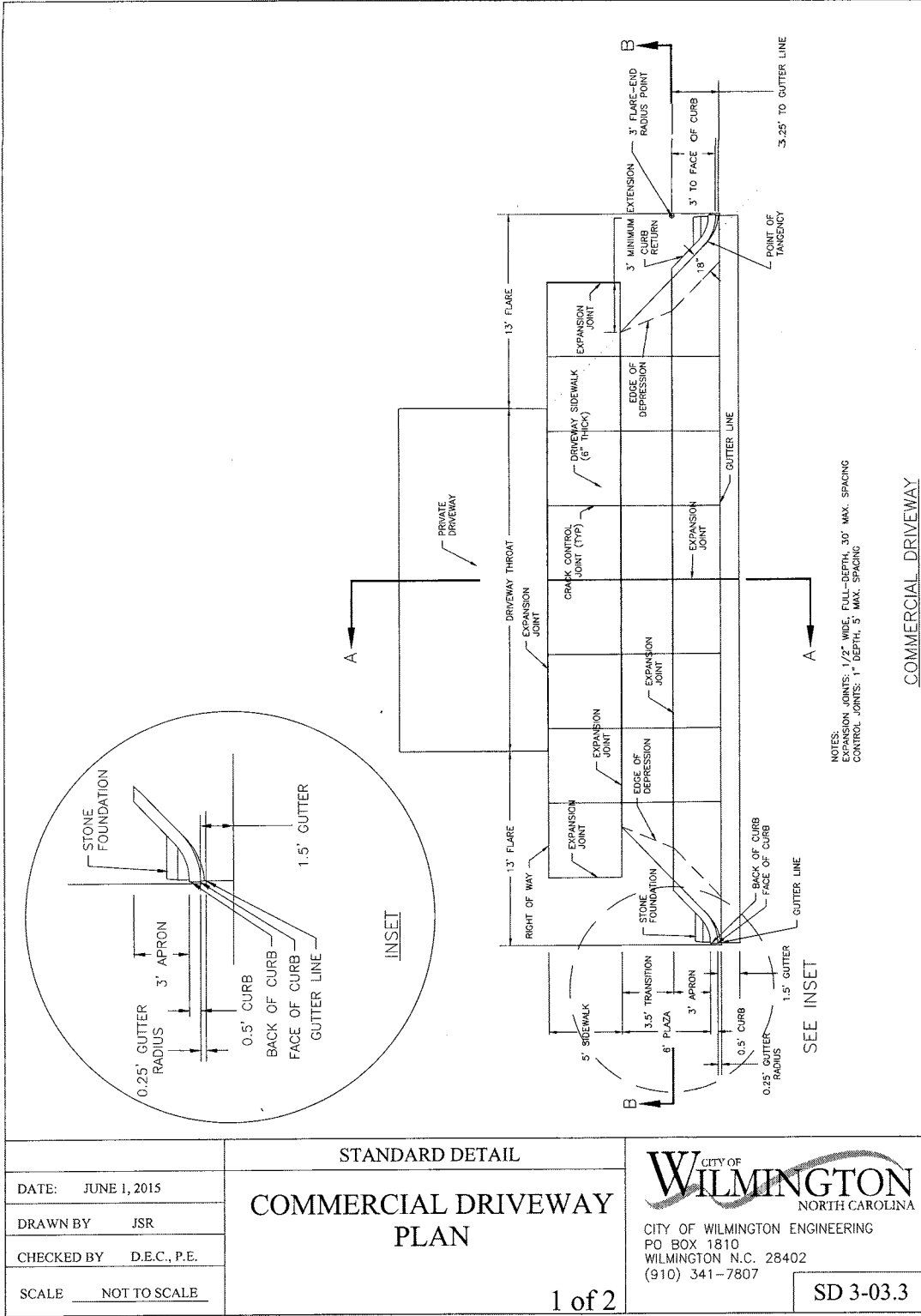
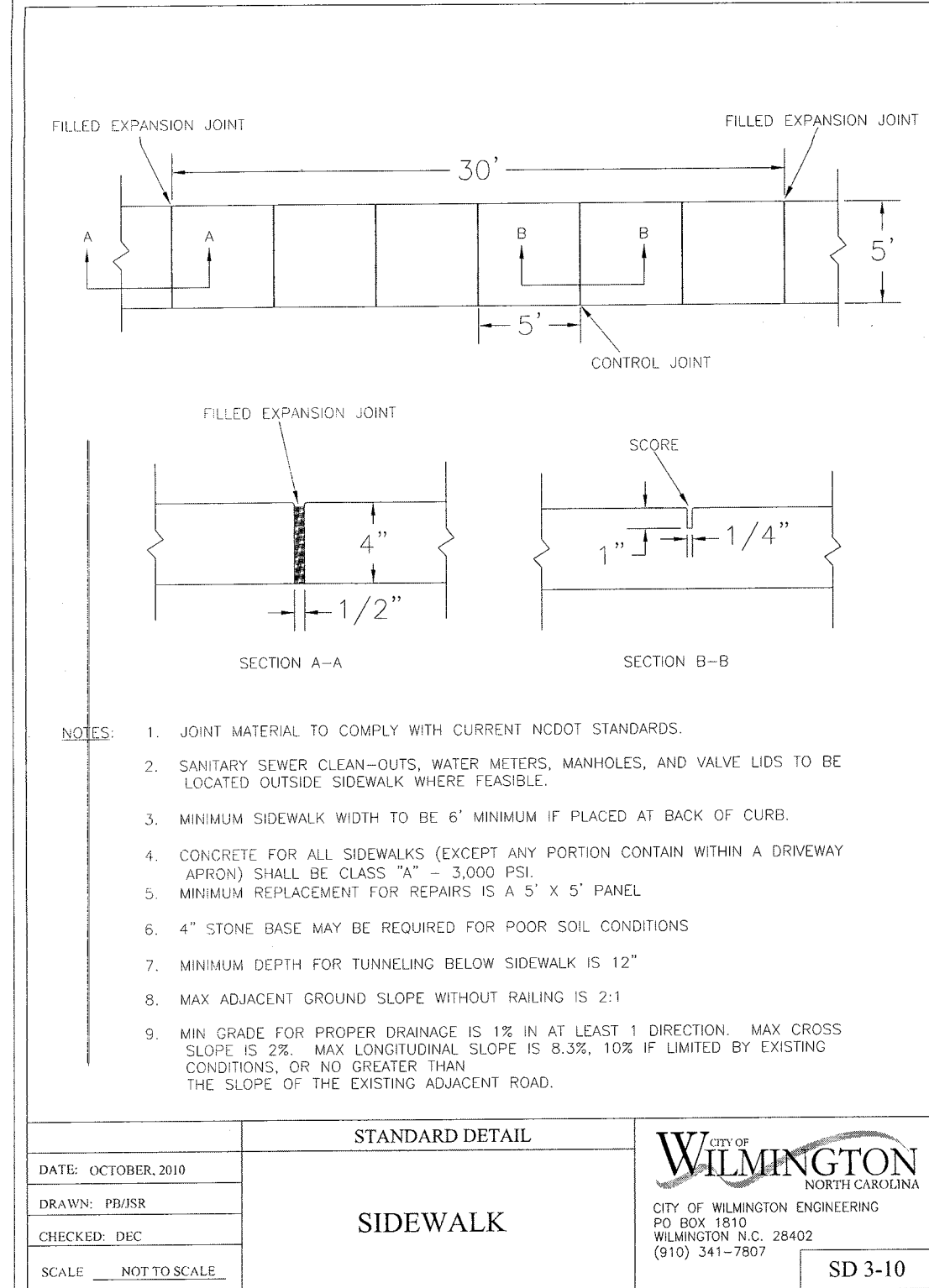
4" HIGH CURB SECTION
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PERMEABLE CONCRETE MONITORING WELL
 NTS



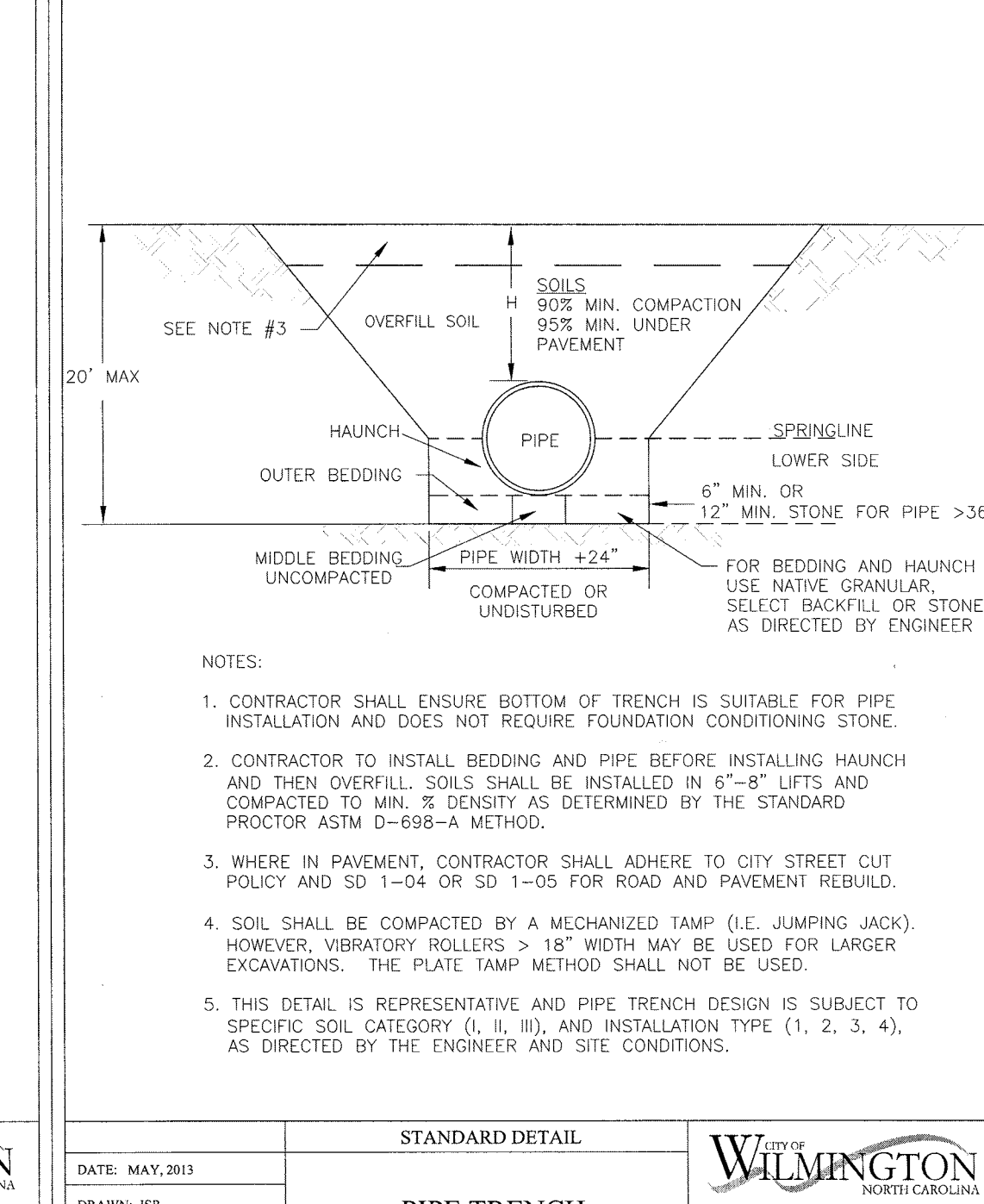
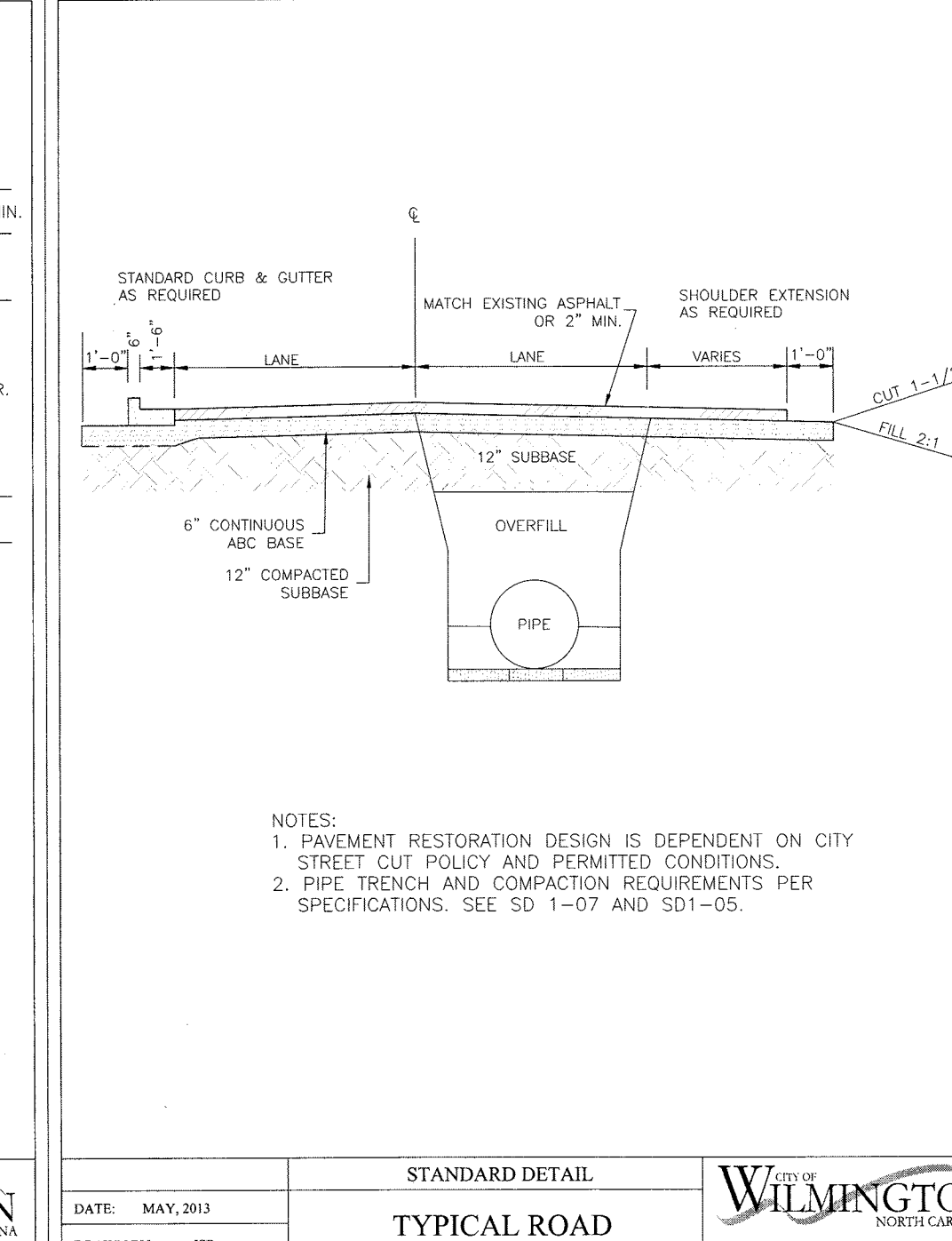
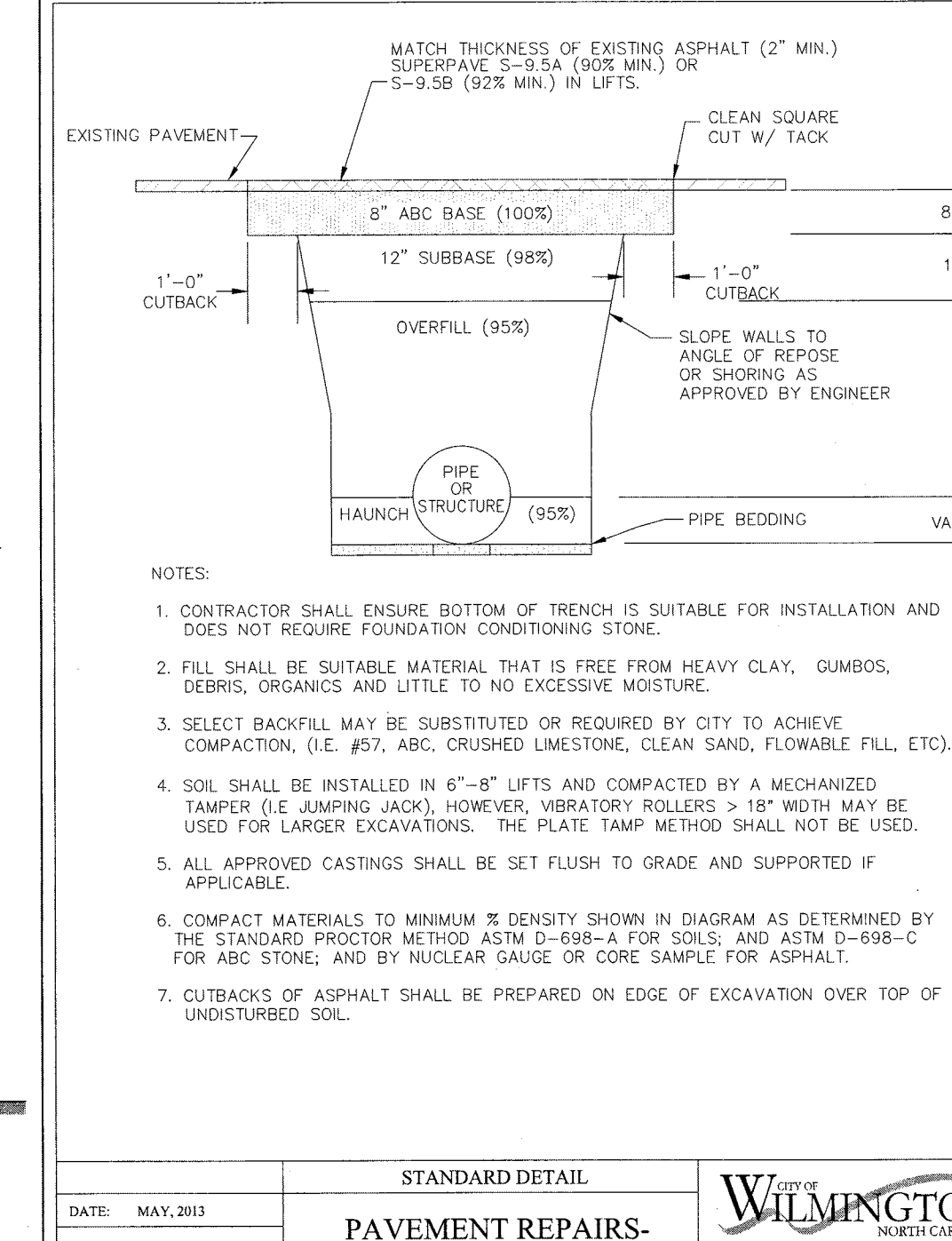
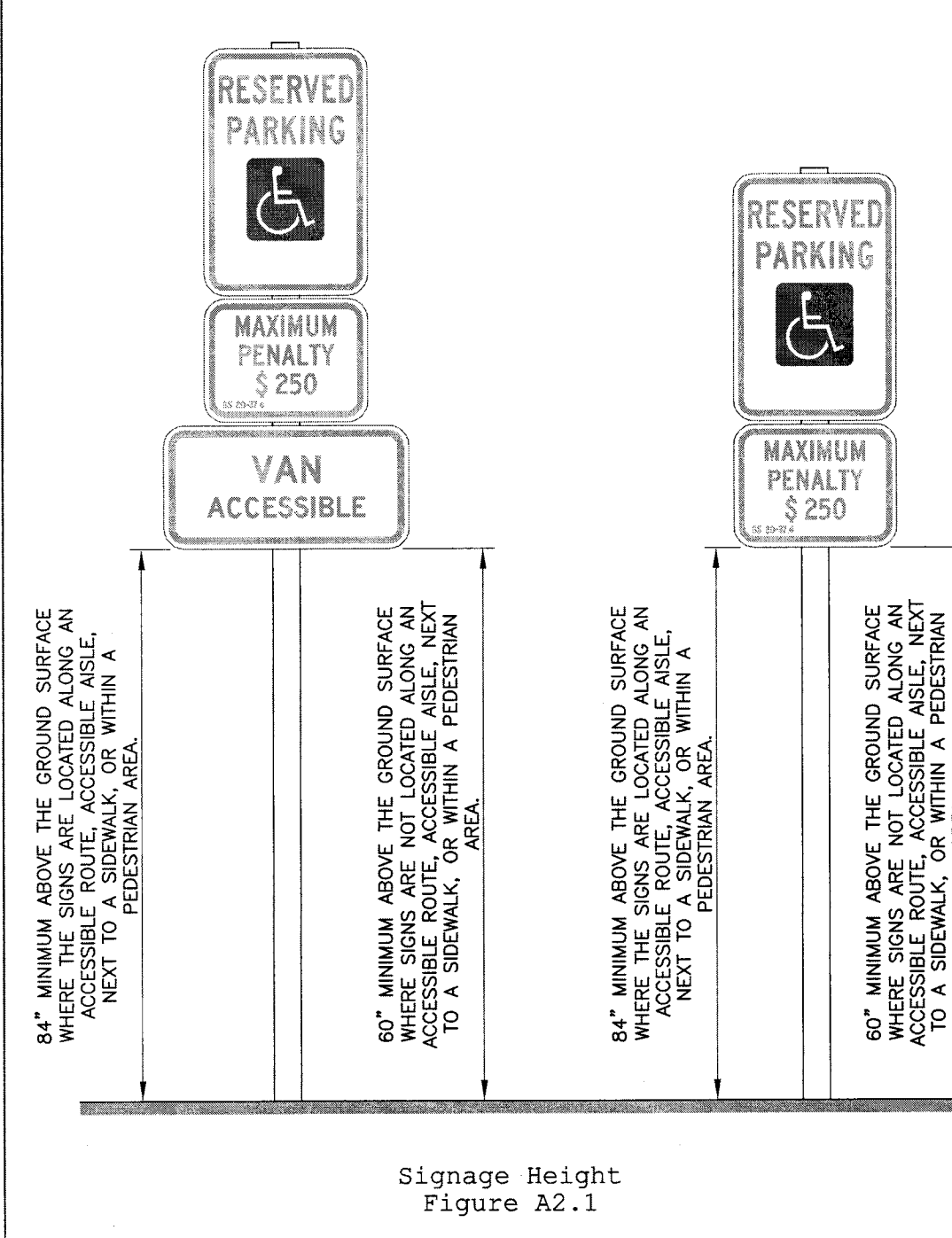
DUMPSTER PAD & ENCLOSURE DETAIL
 NTS



REVISIONS

NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662



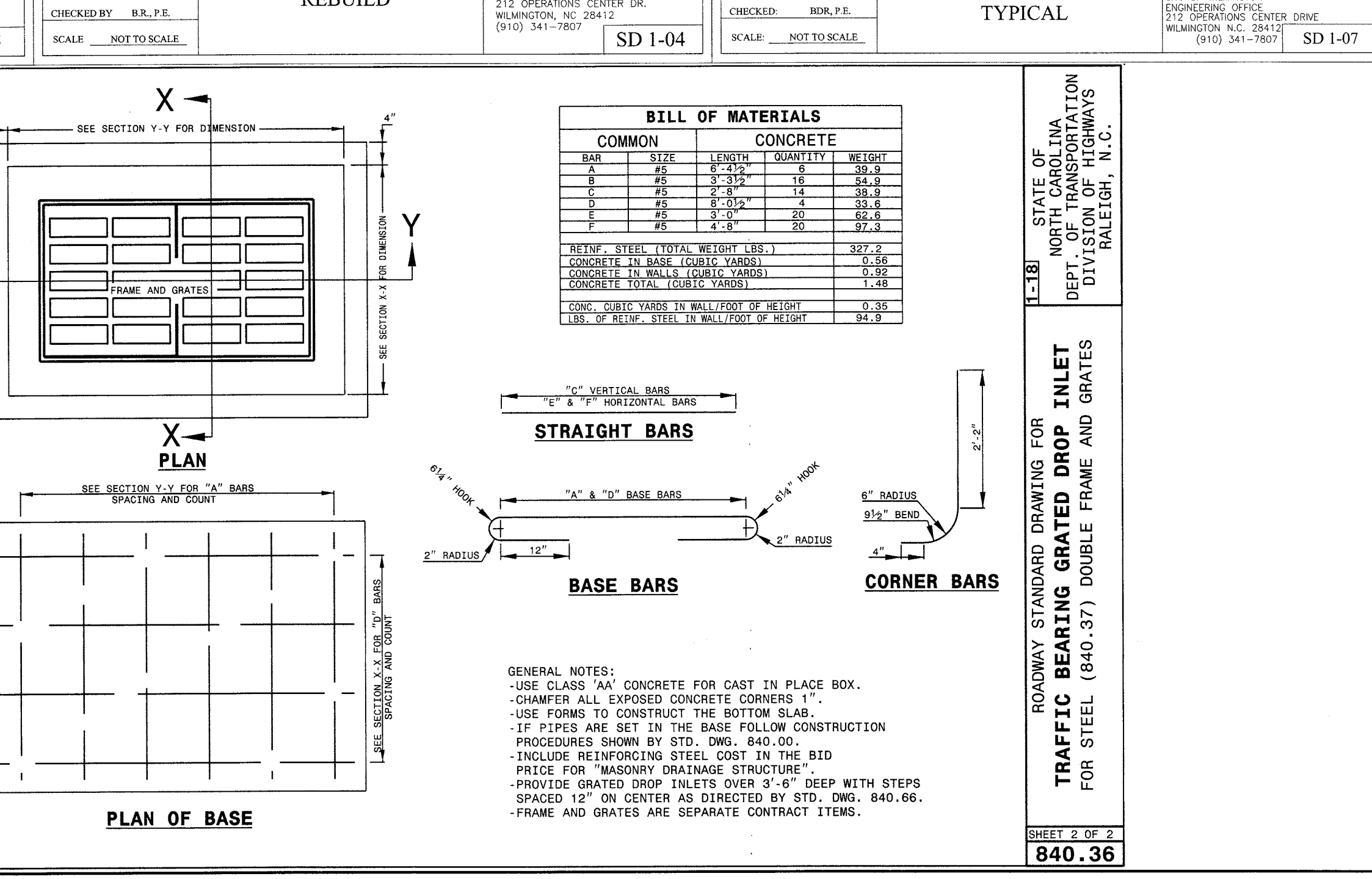
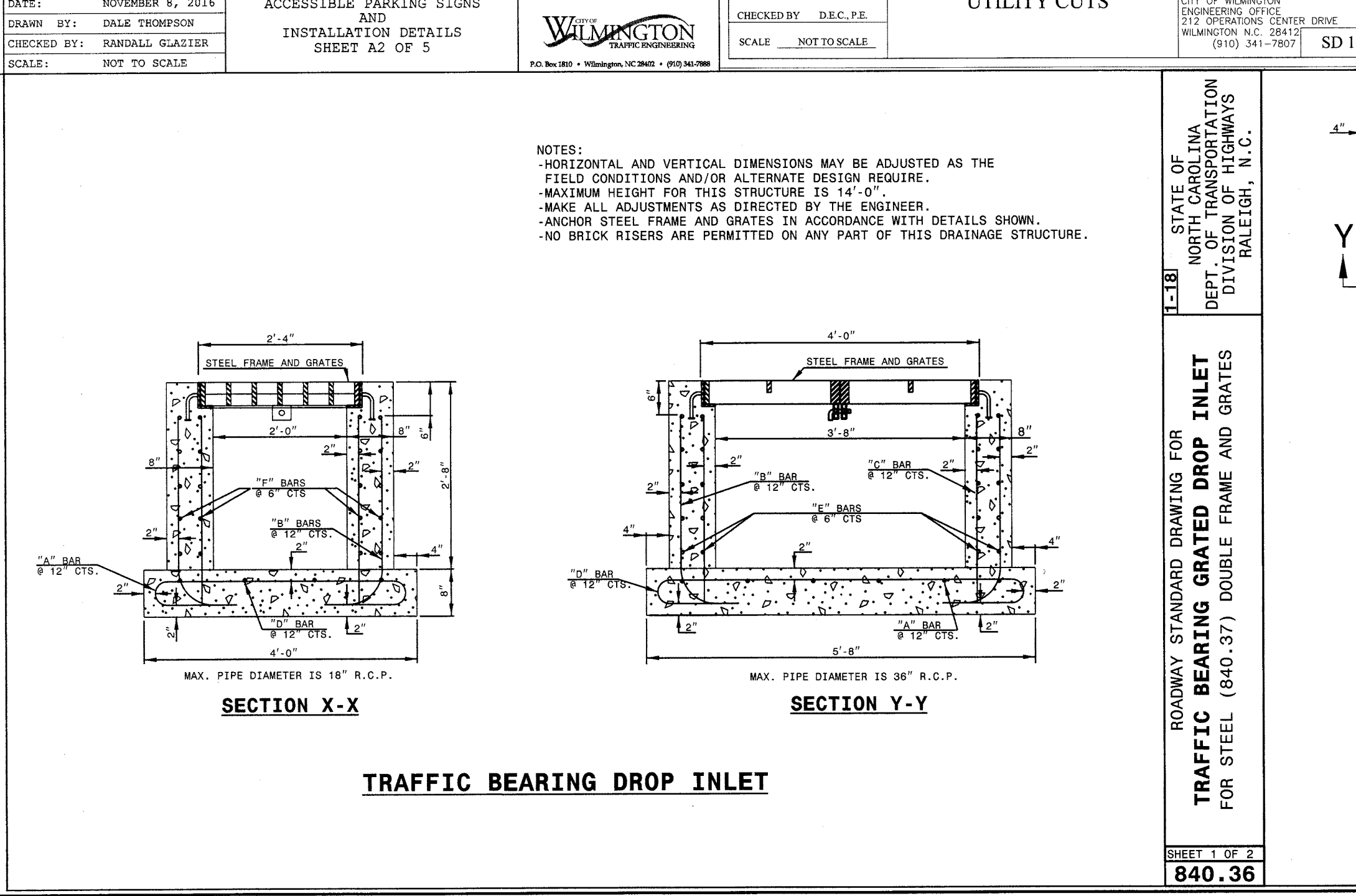
DETAILS FOR THE VARSITY
611 VARSITY DR, 724 & 710 SOUTH KERR AVE.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

Approved Construction Plan

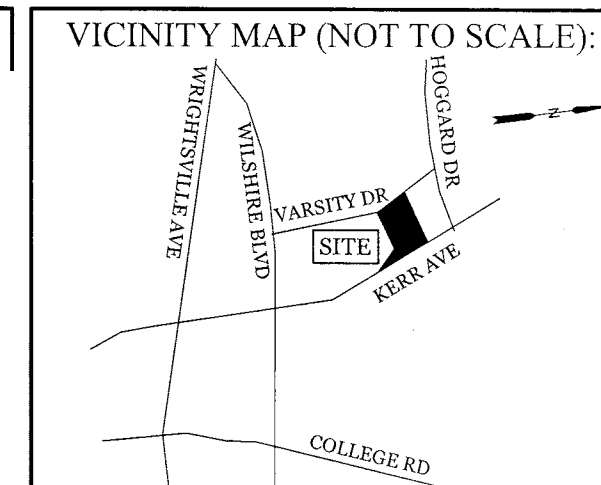
THE VARSITY
APPROVED 9/8/20
SWP 2020026
JW, RC, BM, CW

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____



THE VARSITY
APPROVED 9/8/20
SWP 2020026
JW, RC, BM, CW



Date: _____ Permit # _____
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REVISIONS

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DETAILS FOR THE VARSITY
 611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

R-TANK™ - H2O LOADS

NOTES:
 • FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK™ SHEET (SINGLE MODULE, DOUBLE MODULE, TRIPLE MODULE, QUAD MODEL, OR PENTA MODEL)
 • INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF H20 LOADING PER THE 1983, 13TH EDITION OF THE AMERICAN ASSOCIATION OF STATE, HIGHWAY AND TRAFFIC OFFICIALS (AASHTO) STANDARD SPECIFICATIONS
 • PRE-TREATMENT STRUCTURES NOT SHOWN
 • STRUCTURAL FILL: STRUCTURAL FILL SHALL CONSIST OF GRANULAR MATERIALS MEETING THE GRADATIONAL REQUIREMENTS OF 3M, SP, SW, GM, GP OR GW AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. STRUCTURAL FILL SHALL HAVE A MAXIMUM OF 25 PERCENT PASSING THE NO. 200 SIEVE, SHALL HAVE A MAXIMUM CLAY CONTENT OF 10 PERCENT AND A MAXIMUM PLASTICITY INDEX OF 4. MATERIAL SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 AT THE TIME OF INSTALLATION.
 • BASE: THE OWNER'S ENGINEER SHALL DETERMINE THE REQUIRED BEARING CAPACITY OF THE R-TANK SUBGRADE. HOWEVER IN NO CASE SHALL A BEARING CAPACITY BE LESS THAN 2,000 POUNDS PER SQUARE FOOT BE PROVIDED.

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

R-TANK™ - SINGLE MODULE

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

GEOMETRY: LENGTH = 28.15 IN. (715 MM) WIDTH = 15.75 IN. (400 MM) HEIGHT = 17.32 IN. (440 MM) STORAGE VOLUME = 4.22 CF (119 L) VOID INTERNAL VOLUME: 95% VOID SURFACE AREA: 90%	LOAD RATING: 40 PSI, (MODULE ONLY) HS25, (WITH ACF COVER SYSTEM)	MATERIAL: 85% RECYCLED POLYPROPYLENE
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FABRIC PIPE BOOT FOR R-TANK™

• 12 OZ/SY NONWOVEN GEOTEXTILE
 • FABRIC COLLAR TO FIT OUTSIDE DIAMETER OF INLET/OUTLET PIPE

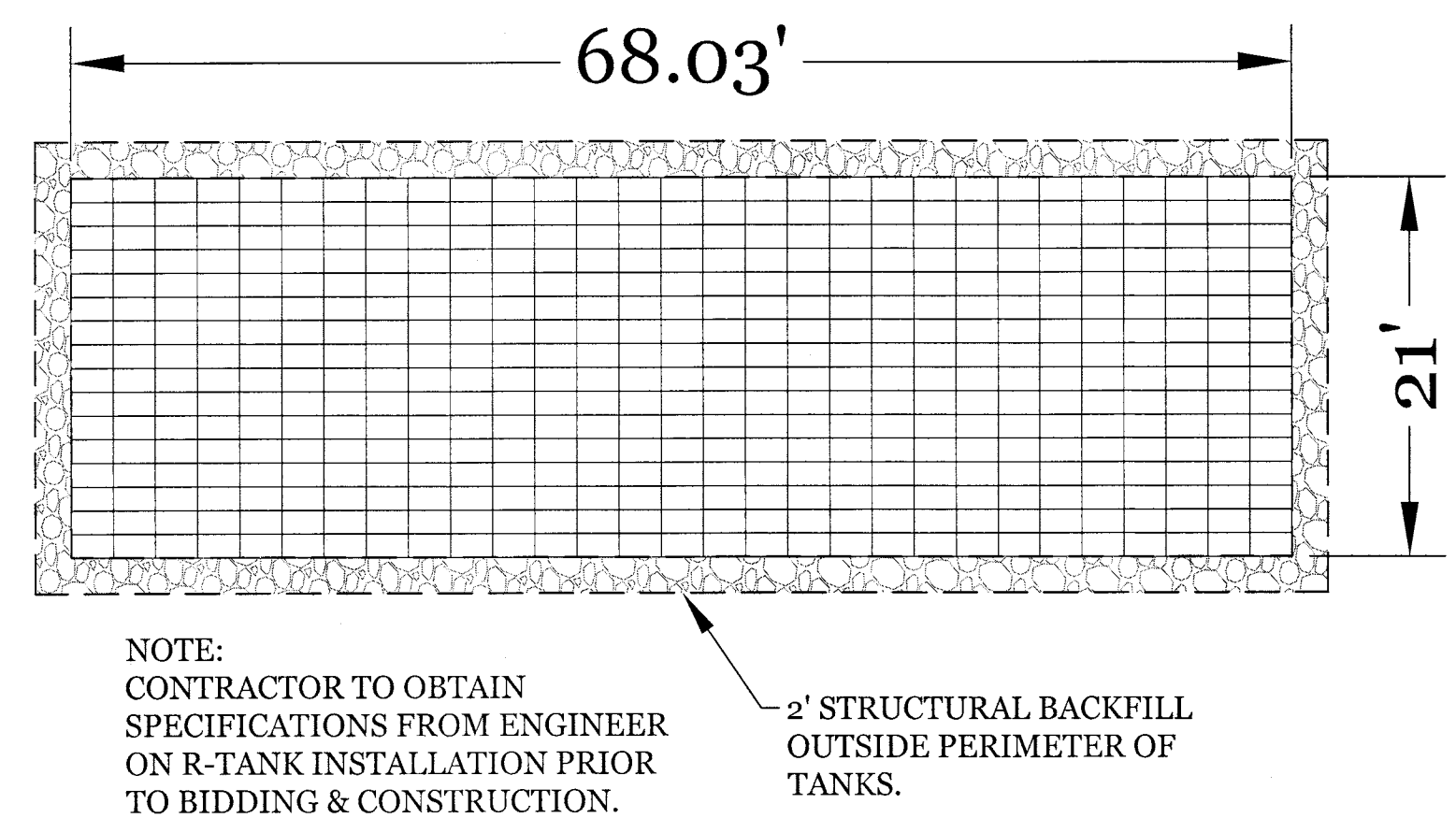
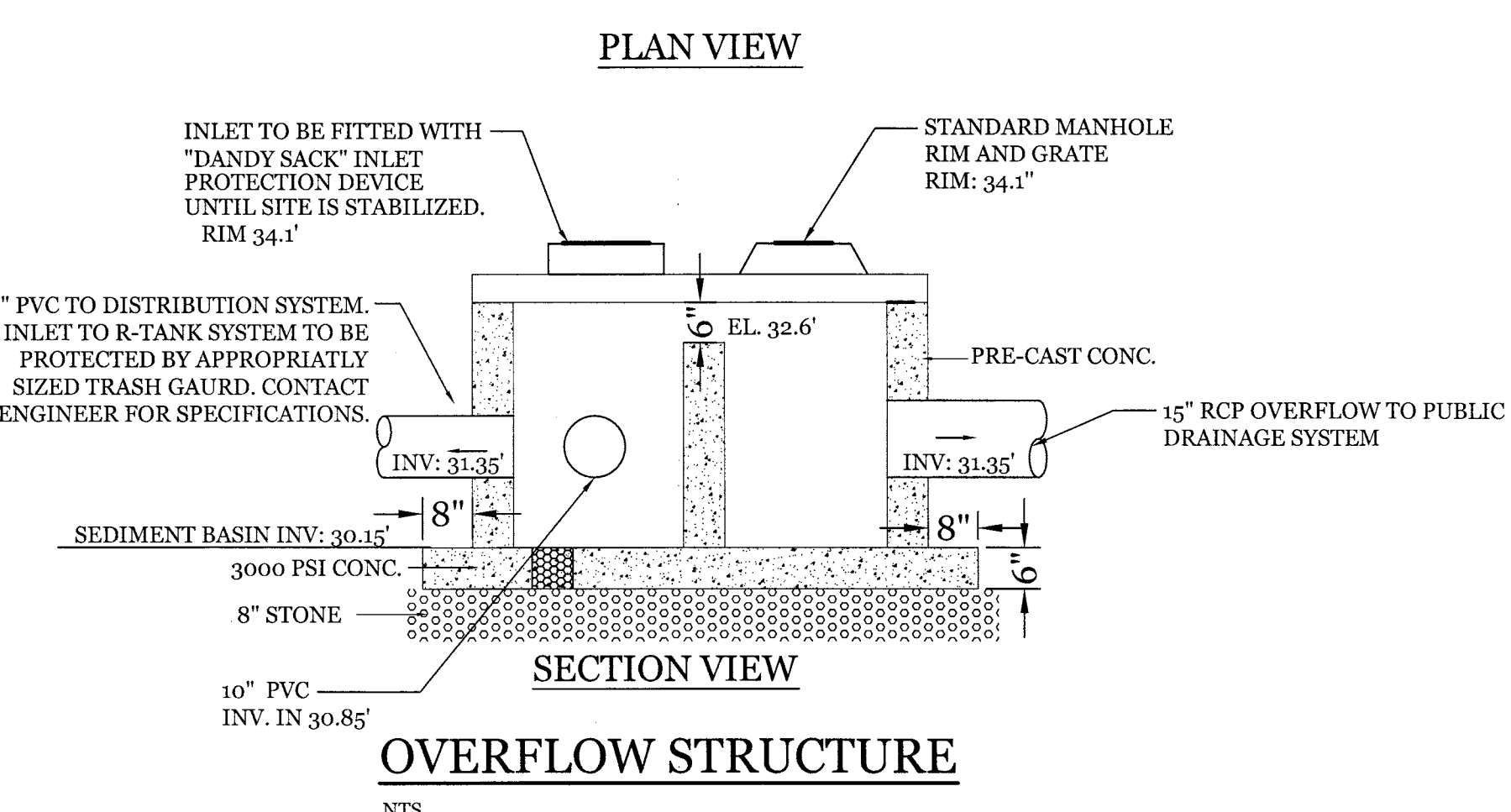
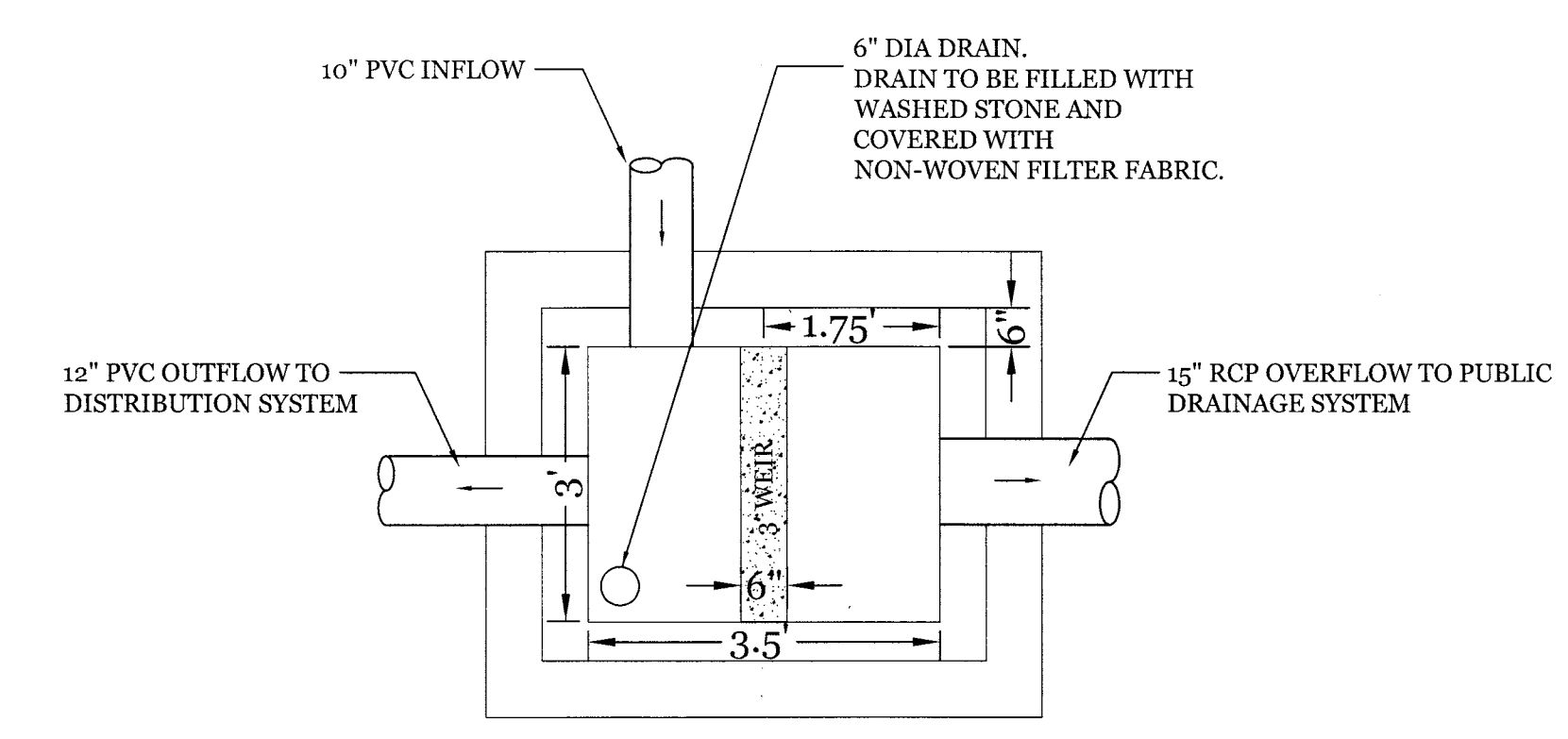
NOTE: CUT FABRIC AND WRAP AROUND PIPE SO THAT PIPE BUTS DIRECTLY AGAINST ACF R-TANK™ PIPE EFFLUENT SHALL NOT PASS THROUGH FABRIC

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

R-TANK™ TYPICAL TANK INLET/OUTLET DETAIL

END VIEW OF PIPE/FABRIC CONNECTION. CUT AN "X" IN THE FABRIC SLIGHTLY LARGER THAN PIPE, PULL THE FABRIC AROUND THE PIPE TO CREATE THE "BOOT" AND THEN SECURE WITH A HOSE CLAMP.

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com



R-TANK - LAYOUT PLAN (464 TANKS TOTAL)
SCALE: 1" = 10'

CLIENT INFORMATION:
 Real Properties, LLC.
 Matt Scharf
 1319-CC Military Cutoff Rd #172
 Wilmington, NC 28405
 Ph. 910-538-9901

DRAWN: JAE SHEET SIZE: 24x36
 CHECKED: CDC DATE: 8/24/2020
 APPROVED: CDC SCALE: NTS
 PROJECT NUMBER: 2019-021

DRAWING NUMBER: **C-6**
 7 OF 8

SITE DATA

ADDRESS	611 VARSITY DR., 724 & 716 SOUTH KERR AVE.
PARCEL ID	R05511-001-004-002; R05511-001-001-000, R05511-001-002-000
PROPOSED USE	APARTMENTS
EXISTING ZONING	O&I-1 (CD)
PARCEL AREA	1.56 AC (66,115 SF)
DISTURBED AREA	1.20 AC (52,272 SF)
CAMA LAND USE	URBAN & CONSERVATION AREA
NUMBER OF BUILDINGS	3
NUMBER OF UNITS	24 UNITS
BUILDING HEIGHT	+/- 38'

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED	FOUNDATION PLANTING 12% FACADE AREA	REQUIRED	PROVIDED
PARKING LOT CANOPY COVERAGE (16,399 SF X 30%)	4,920 SF, 7 TREES (1 SHADE TREE = 707 SF)	4,929 SF, 7 TREES		7 LARGE SHADE	
TREE (4,929 SF)			BUILDING 1 WEST NORTH SOUTH	388 SF (85 LF x 38' x 12) 250 SF (65 LF x 38' x 12) 114 SF (25 LF x 38' x 12)	466 SF 279 SF 123 SF
STREET YARD PLANTING			BUILDING 2 NORTH	164 SF (36 LF x 38' x 12)	346 SF
PRIMARY STREET YARD S. KERR AVE	3,154 SF (175.22 LF x 18')	3,293 SF	BUILDING 3 EAST NORTH	788 SF (173 LF x 38' x 12) 132 SF (29 LF x 38' x 12)	788 SF 217 SF
TREES REQUIRED	6 (1/600 SF)	6 PROPOSED TREES			
SHRUBS REQUIRED	32 (6/600 SF)	60 PROPOSED SHRUBS			
SECONDARY STREET YARD VARSITY DRIVE	2,761 SF (306.81 LF x 9')	2,789 SF			
TREES REQUIRED	5 (1/600 SF)	5 EXISTING TREES			
SHRUBS REQUIRED	28 (6/600 SF)	33 PROPOSED SHRUBS			

RETAINED TREES COUNTED TOWARD MITIGATION

QUANTITY	SIZE	COMMON NAME
1	12"	PINE
1	14"	PINE
2	16"	PINE
1	17"	PINE
2	18"	PINE
1	24"	PINE
1	12"	GUM
1	13"	GUM
1	14"	GUM
1	15"	GUM
1	16"	GUM
1	8"	DOG
2	10"	DOG
1	10"	OAK
1	12"	OAK
1	8"	BIRCH

REMOVED REGULATED TREES TO BE MITIGATED

QUANTITY	SIZE	COMMON NAME	% MITIGATION
1	14"	PINE	100
1	15"	PINE	100
1	17"	PINE	100
1	19"	PINE	100
1	24"	PINE	100
1	6/6"	CRAPPE	100
1	6"	CHERRY	75

1017/3 = 34 TREES REQUIRED FOR MITIGATION
 TOTAL TREE CREDITS TOWARD MITIGATION: 44
 (129 REQUIRED FOR MITIGATION - 44 CREDITS = 85)
 TOTAL TREES REQUIRED TO BE MITIGATED: 85 TREES

PROPOSED TREES TO MEET MITIGATION COUNT: 25 TREES

EXISTING NON-REGULATED TREES WILL BE USED TO OFFSET TREE MITIGATION REQUIREMENTS. ADDITIONAL FIELD WORK WILL BE REQUIRED TO LOCATE THOSE TREES. ANY ADDITIONAL TREES REQUIRED ON SITE WILL BE PROVIDED IN PAYMENT IN LIEU OF.

TREE REQUIREMENTS PER DISTURBED ACRE

15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.

REQUIRED: 1.2 ACRES DISTURBED x 15 TREES = 18 TREES REQUIRED
 PROVIDED: 35 TREES PLANTED - REFER TO PLANTING LEGEND, THIS SHEET**
 TOTAL: 35 TREES PROVIDED

TREE MITIGATION REQUIREMENTS

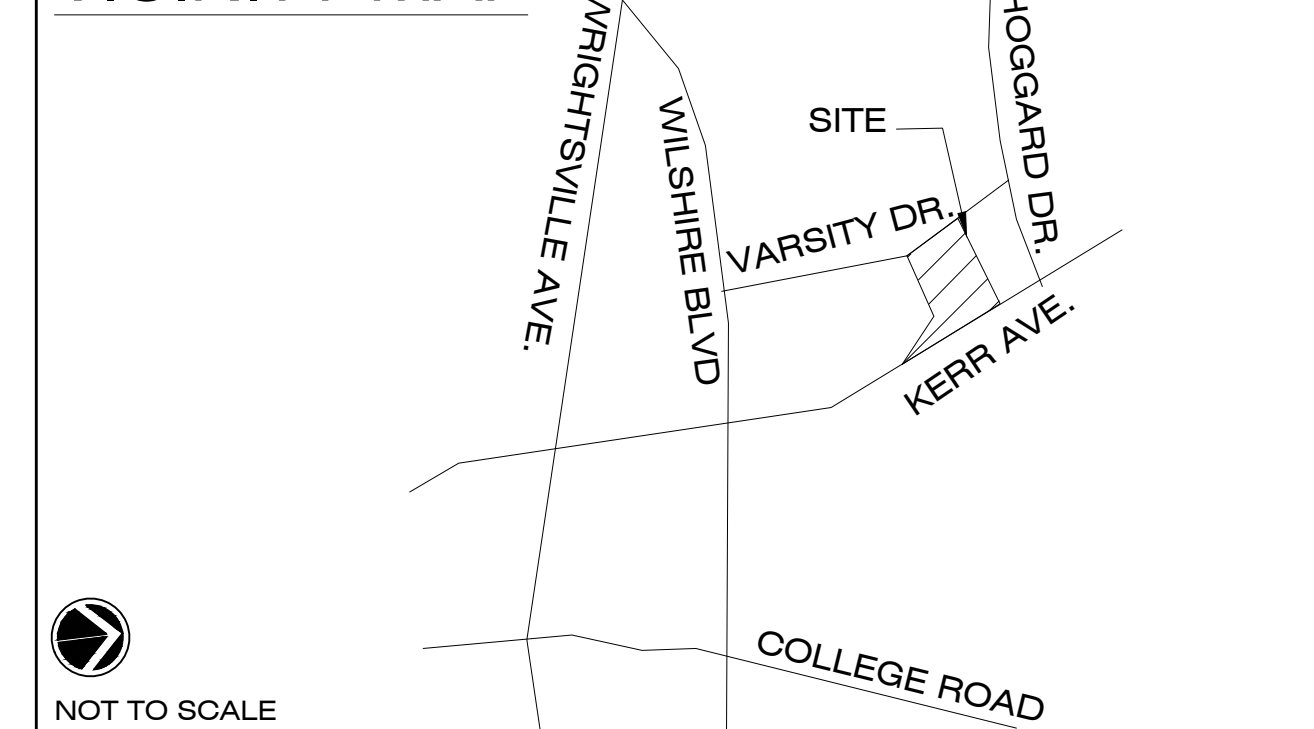
REMOVED SIGNIFICANT TREES

QUANTITY	SIZE	COMMON NAME	% MITIGATION
1	8"	MAGNOLIA	100
1	8"	DOG	100
3	10"	DOG	100
3	12"	DOG	100
1	30"	POPLAR	100
2	10"	CHERRY	75
1	30"	MAPLE	50

112" x (2) x (1) = 224" / 3 = 75 TREES
 20" x (2) x (.75) = 30" / 3 = 10 TREES
 30" x (2) x (.50) = 30" / 3 = 10 TREES

TOTAL: 95 TREES REQUIRED FOR MITIGATION

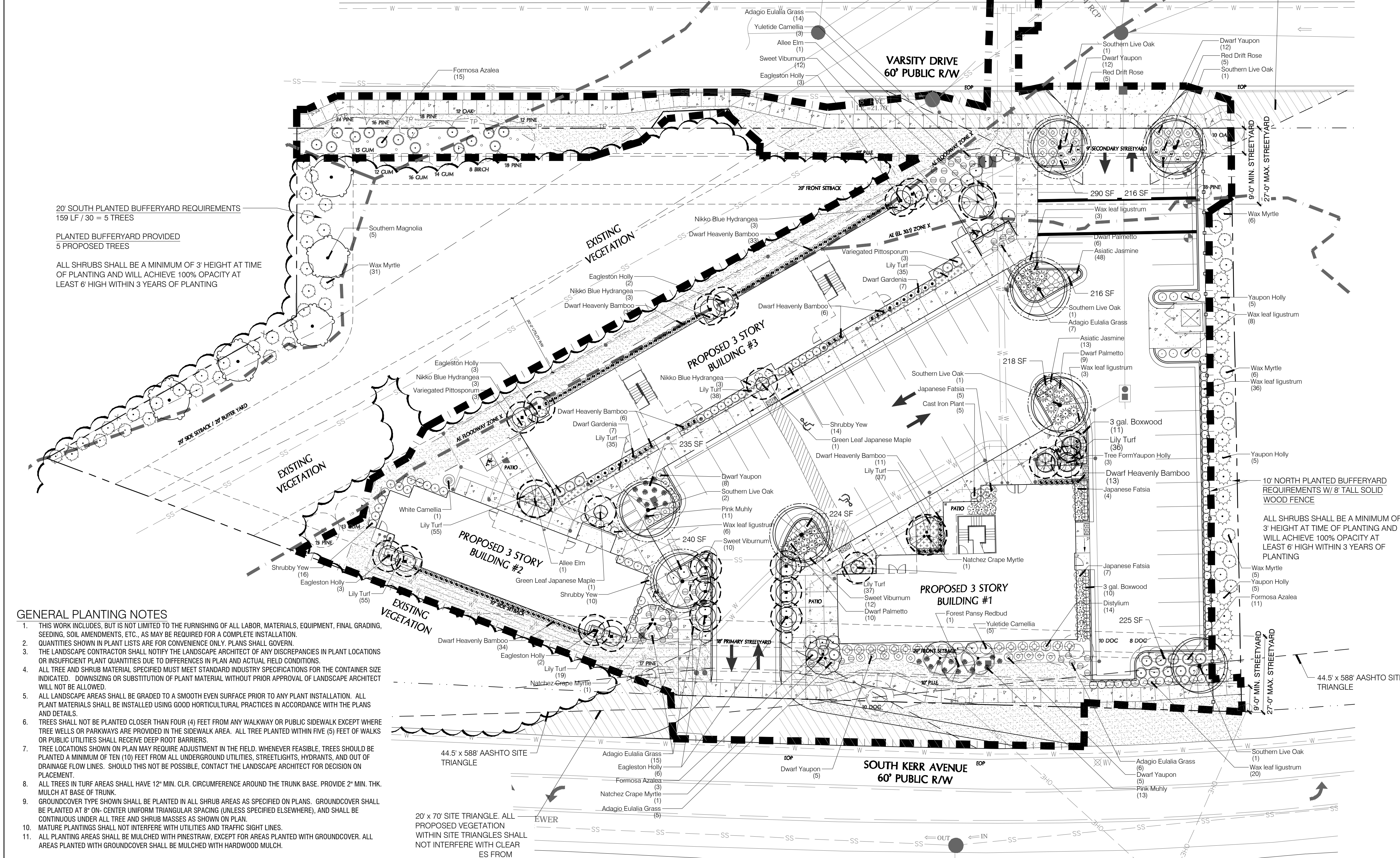
VICINITY MAP



NOT TO SCALE

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	RANGE	MIN. REQ. SIZE	QTY
○	Acer palmatum / Common Leaf Japanese Maple	15 gal	1.5" CAL	8-10' HT	8-10' HT	3
○	Cercis c. 'Forest Pansy'™ / Forest Pansy Redbud	25 GAL		8-10' HT	8-10' HT	3
○	Ilex vomitoria / Tree Form Yaupon Holly	8 & B		8-10' HT	8-10' HT	3
○	Ilex x. 'Eagleston' / Eagleston Holly	8&B		8' HT	8-10' HT	16
○	Lagerstroemia x 'Natchez' / Natchez Crape Myrtle	8 & B	2" CAL		2-2.5' CAL	3
○	Magnolia g. 'D.D. Blanchard'™ / Southern Magnolia	8 & B	3" CAL	8-10' HT	2-2.5' CAL	5
○	Quercus virginiana / Southern Live Oak	8 & B	3" CAL		2-2.5' CAL	8
○	Ulmus p. 'Emer II' / Allee Elm	8&B	3" CAL	12-14' HT	2-2.5' CAL	2
○	SHRUBS					
○	Aspidistra elatior / Cast Iron Plant	1 gal	15-18" HT			5
○	Azalea l. 'Formosa' / Formosa Azalea	3 gal	18-24" HT			29
○	Buxus m. 'Wintergreen' / 3 gal. Boxwood	3 gal	12-18" HT			21
○	Camellia s. 'Hana Jiman' / White Camellia	7 gal	24-36" HT		12" HT	1
○	Camellia s. 'Yuletide' / Yuletide Camellia	7 gal	36" HT		3' HT	8
○	Distylium myricoides 'Cinnamon Girl' / Distylium	3 gal	15-24" HT			14
○	Fatsia japonica / Japanese Fatsia	7 gal	24-30" HT			16
○	Gardenia radicans / Dwarf Gardenia	7 gal	12-18" HT			14
○	Hydrangea m. 'Nikko Blue' / Nikko Blue Hydrangea	3 gal	12-15" HT			12
○	Ilex vomitoria / Yaupon Holly	7 gal	3-4' HT	3' HT		15
○	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal	15-18" HT			42
○	Ligustrum j. 'Recurvatum' / Wax leaf Ligustrum	7 gal	36" HT	3' HT		71
○	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	15-18" HT			56
○	Muhlenbergia capillaris / Pink Muhly	3 gal	15-18" HT	12" HT		24
○	Myrica centrica / Wax Myrtle	7 gal	3-4' HT	3' HT		46
○	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	7 gal	18-24" HT			136
○	Pittosporum l. 'Variegata' / Variegated Pittosporum	3 gal	18-24" HT			6
○	Podocarpus macrophyllus maki / Shrubby Yew	10 gal	4-5' HT			39
○	Rosa x 'Meigalpio' / Red Drift Rose	3 gal	12-15" HT			10
○	Sabal minor / Dwarf Palmetto	3 gal	18-24" HT			25
○	Viburnum odoratissimum / Sweet Viburnum	7 gal	5-6' HT			34
○	GROUND COVERS					
○	Liriope muscari / Lily Turf	1 qt	6-12" HT		18" o.c.	270
○	Trachelospermum a. 'Asatic' / Asatic Jasmine	1 qt	6-12" HT		18" o.c.	78
○	SOD SEED					
○	Zoyis japonica 'Crown' / Korean Grass	sod				

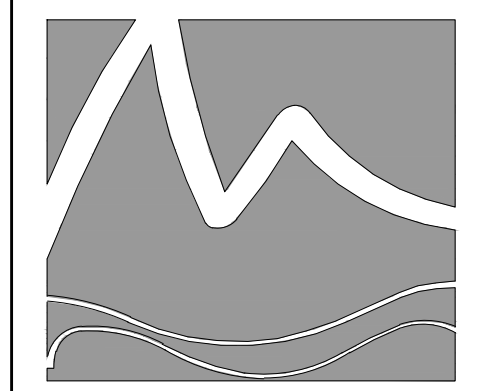
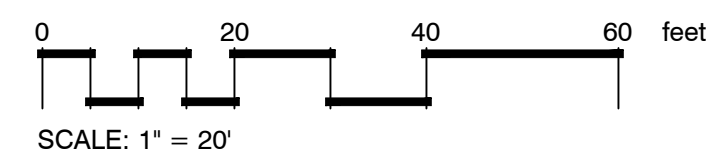
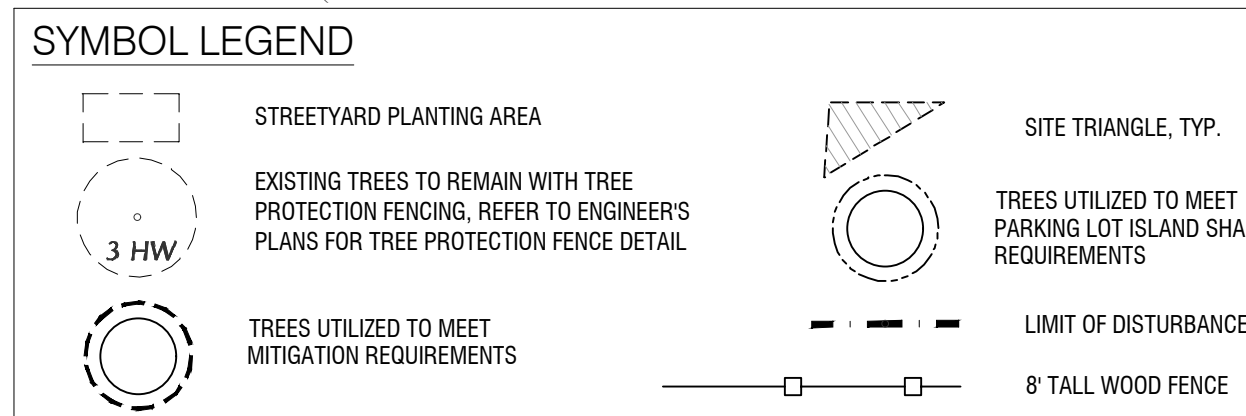


- GENERAL PLANTING NOTES**
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
 - ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
 - ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACINGS (UNLESS SPECIFIED ELSEWHERE), AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUNDCOVER. ALL AREAS PLANTED WITH GROUNDCOVER SHALL BE MULCHED WITH HARDWOOD MULCH.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

THE VARSITY
APPROVED 9/8/20
SWP 2020026
JW, RC, BM, CW

Construction Plan	ame	Date



MIHALY
 LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 MILITARY CUTOFF RD., Suite A3

2020-05-12: Revise per COW comments
 2020-07-20: Revise per COW comments
 2020-08-25: Revise per COW comments

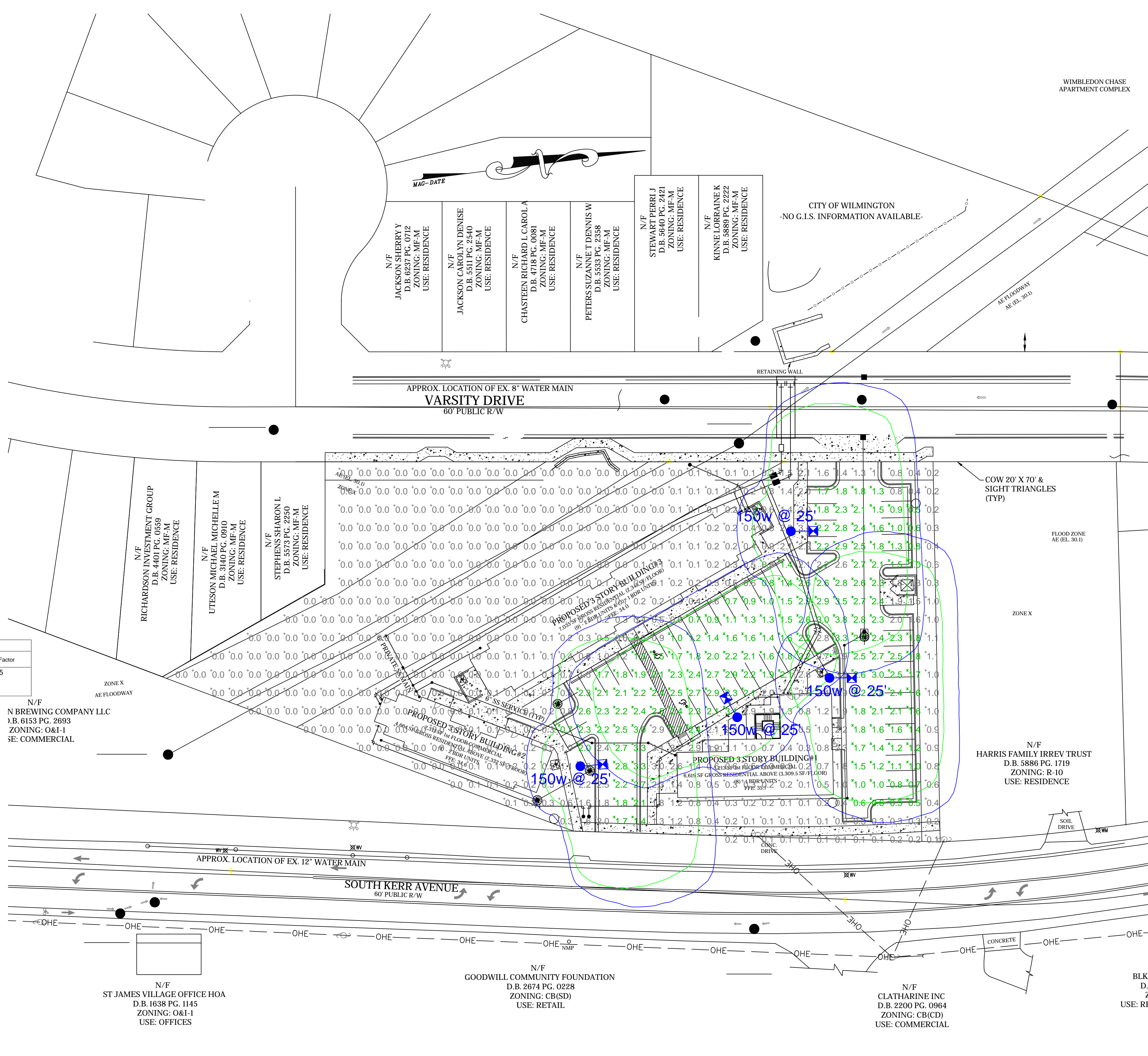
CLIENT
REAL PROPERTIES, LLC.
 1319-CC MILITARY CUTOFF RD. # 172
 WILMINGTON, NC 28405
 CONTACT: MATT SCHARF - 910-538-9901

PROJECT
THE VARSITY
 611 VARSITY DR., 724 & 716 S. KERR AVE.
 WILMINGTON, NC 28403
 LANDSCAPE PLAN

CONSTRUCTION DOCUMENT REVIEW SET

Date: 2020-03-25
 Phase:
 Job Number: 101-600
 Designed by: MLD
 Drawn by: MAS
 Checked by: JWM

Sheet Title: PLANTING PLAN
 Sheet Number: **L1.0**
 of 1 sheets



Statistics

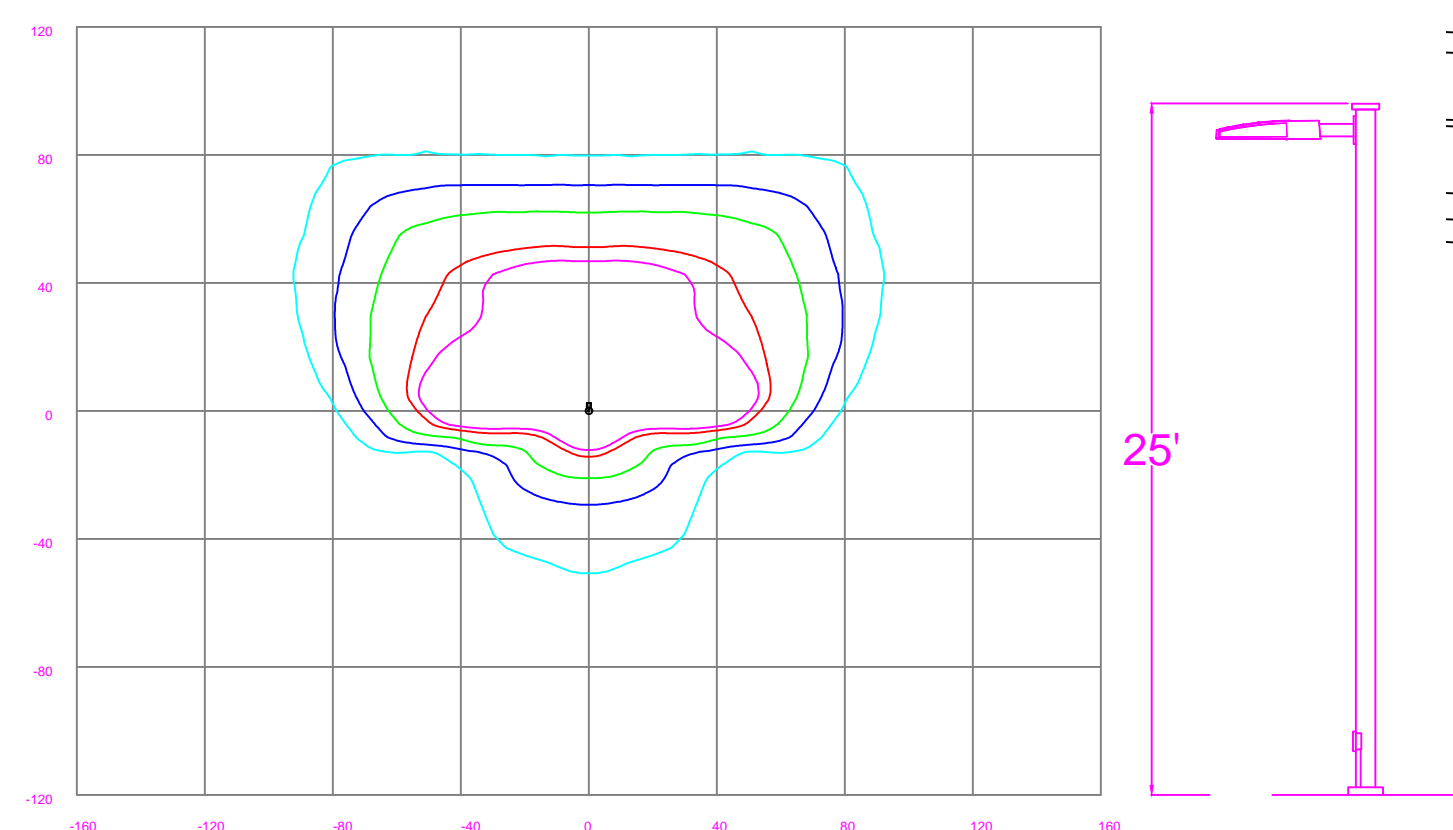
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.8 fc	3.8 fc	0.0 fc	N/A	N/A
Parking	X	1.9 fc	3.8 fc	0.5 fc	7.6:1	3.8:1

Schedule

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
150w	150w	4	LED 150w Shoebox - Type IV - 4000K	48	385	0.85

ISOFOOTCANDLE CURVES

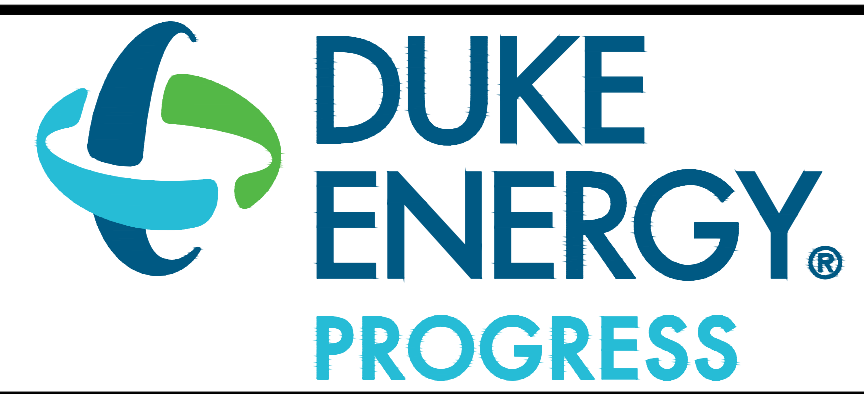
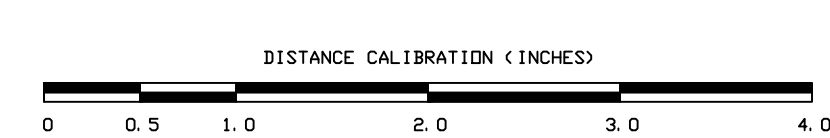
FIXTURE: LED150, EATON
 MOUNTING HEIGHT: 25 FT
 LIGHT SOURCE: LED'S, 4000K, 70 CRI
 LUMENS - 18459
 PATTERN: TYPE IV B3-U0-G4 (zero light at or above 90 degrees)
 NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval _____ Date _____



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THE VARSITY
 WILMINGTON, NC
 SITE LIGHTING PLAN
 DEP LIGHTING SOLUTIONS
 Designed by N. Johnson Scale 1" = 20'
 Reviewed by N. Johnson Date 04/07/2020 Size Arch D
 Description LED 150w Shoebox
 Drawing No. 20-0123A Sht. 1 OF 1

THE VARSITY
 APPROVED 9/8/20
 SWP 2020026
 JW, RC, BM, CW

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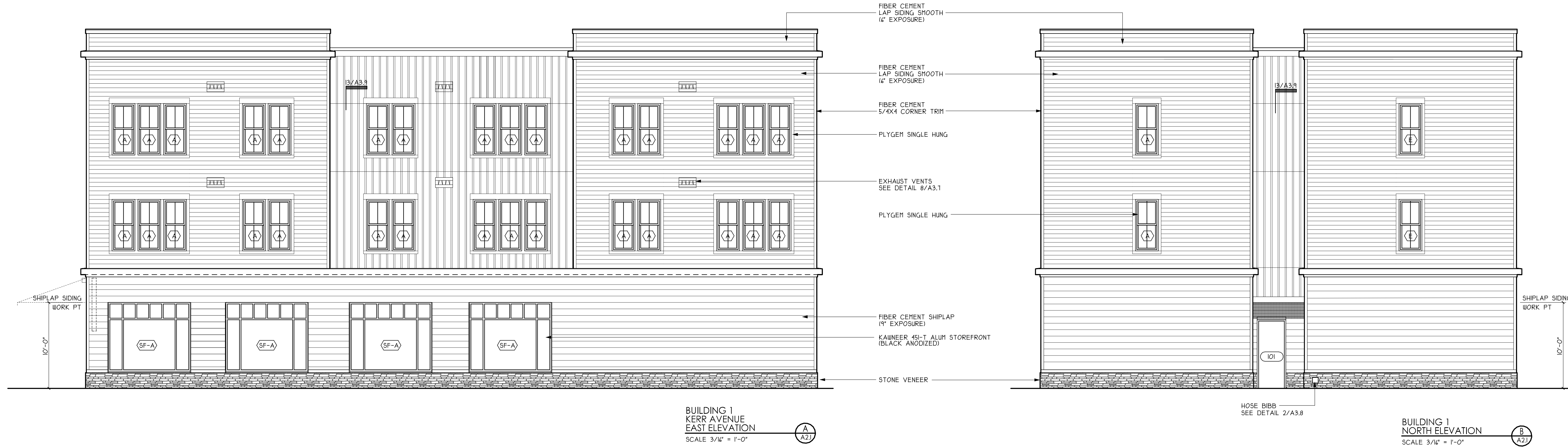
THE VARSITY
 724 SOUTH KERR AVENUE
 WILMINGTON, NORTH CAROLINA 28405

CONSTRUCTION DOCUMENTS

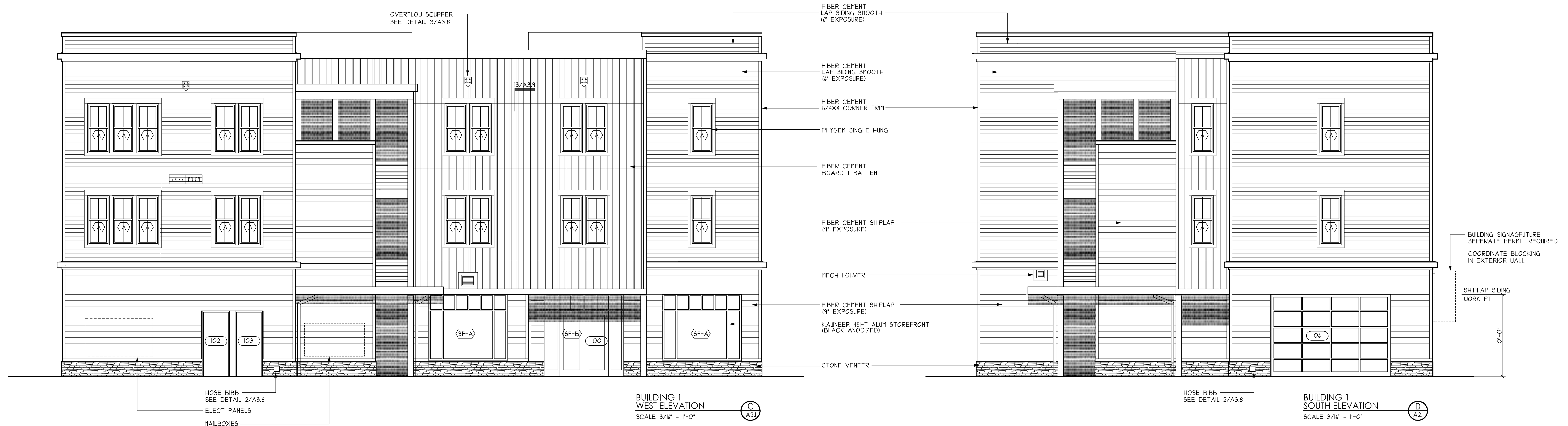
6-26-20
 REV DATE REVISION
 R-1 1/23/20 SIGNAGE NOTE

A2.1
 BUILDING 1
 ELEVATIONS

18-107 A201



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EXTERIOR MATERIAL SCHEDULE				LEGEND		KEY NOTES		SITE KEY PLAN	
HATCH/KEY	MATERIAL	BASIS OF DESIGN/PRODUCT/MANUFACTURER	COLOR					NOT TO SCALE	
[Hatch]	FIBER CEMENT LAP SIDING	JAMES HARDI ARTISAN LAP SIDING, 6" EXPOSURE	XXX	[Hatch]	2X4 STUD WALL	WH	WATER HEATER	[Hatch]	BUILDING SHOWN
[Hatch]	FIBER CEMENT PANELS WITH 1X BATTEN STRIPS AT 1'-0" OC			[Hatch]	2X4 STUD WALL	REF	REFRIGERATOR	[Diagram]	
[Hatch]	HORIZONTAL SHIPLAP SIDING	JAMES HARDI ARTISAN SHIPLAP SIDING, 9" EXPOSURE		[Hatch]	1 HR RATED WALL	DS	DOWNSPOUT	[Diagram]	
[Hatch]	STONE VENEER	PLY-GEN STONE LEDGESTONE		[Hatch]	1 HR INTERIOR BEARING WALL	[Symbol]	INDICATES 30" X 48" CLEAR FLOOR SPACE	[Diagram]	
				[Symbol]	INDICATES WALL TYPE, SEE DETAILS SHEET G15	[Symbol]	INDICATES REQUIRED CLEAR FLOOR SPACE PER ANSI ITU CODE (2009)		
				(FE)	FIRE EXTINGUISHER, MIN 2-A10-B-C (WALL TYPE)	[Symbol]	EXHAUST WALL CAP FINISH TO MATCH EXTERIOR WALL FINISH		
				(102)	INDICATES DOOR NUMBER, SEE SCHEDULE SHEET A41				
				(A)	INDICATES WINDOW MARK, SEE SCHEDULE SHEET A41				

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 724 SOUTH KERR AVENUE
 WILMINGTON, NORTH CAROLINA 28405

CONSTRUCTION DOCUMENTS

6-26-20

REV DATE REVISION
 R-1 1-23-20 SIGNAGE NOTE

A2.2
 BUILDING 2
 ELEVATIONS

18-107 A202



THE VARSITY
 APPROVED 9/8/20
 SWP 2020026
 JW, RC, BM, CW



EXTERIOR MATERIAL SCHEDULE				LEGEND		KEY NOTES		SITE KEY PLAN	
HATCH/KEY	MATERIAL	BASIS OF DESIGN/PRODUCT/MANUFACTURER	COLOR						
[Hatch]	FIBER CEMENT LAP SIDING	JAMES HARDI ARTISAN LAP SIDING, 4\"/>							